

SOUTH AYRSHIRE COUNCIL

LOCAL REVIEW BODY

NOTE OF CURRENT POSITION

Site Address:	62A MAIN STREET SYMINGTON SOUTH AYRSHIRE KA1 5QG
Application:	25/00545/APP – Erection of a Dwellinghouse

Appointed Officer's Decision:	Refused
Date Notice of Review Received:	13 February 2026

Current Position:	Continued Case for Review
Documentation:	<p>The following documents in relation to the review are attached:</p> <p>Pages 1 to 12 - Report of Handling (December 2025)</p> <p>Pages 13 to 17 - Notice of Review (February 2026)</p> <p>Pages 18 to 43 - Review Statement – (February 2026)</p> <p>Pages 44 to 52 - Original Planning Application (August 2025)</p> <p>Pages 53 to 71 - Planning Application Designs and Plans (October 2024 to August 2025)</p> <p>Pages 72 to 95 - Supporting Information – Design and Access Statement (August 2025)</p> <p>Pages 96 to 117 - Supporting Information - Tree Survey Report (August 2025)</p> <p>Pages 118 to 122 - Decision Notice (December 2025)</p>

	<p>Pages 123 to 133 - Consultation responses</p> <ul style="list-style-type: none"> • Pages 123 to 125 – West of Scotland Architectural Service (Aug 2025) • Pages 126 to 129 – Scottish Water (Sep 2025) • Page 130 – Sustainable Development - Landscape (Sep 2025) • Pages 131 to 133 – Ayrshire Roads Alliance (Nov 2025) <p>Pages 134 to 144 - Interested Parties Representations on Planning Application</p> <ul style="list-style-type: none"> • Pages 134 to 136 - D. Murray (Sep 2025) • Pages 137 to 138 - J. Mulholland (Sep 2025) • Pages 139 to 142 - Symington Community Council (Sep 2025) • Page 143 - Mr and Mrs A. Parker (Sep 2025) • Page 144 - J. Pope (Sep 2025) <p>Pages 145 to 150 – Interested Parties Representations following Initial Letter from Local Review Body.</p> <ul style="list-style-type: none"> • Page 145 - J. Pope (Feb 2026) • Page 146 – Ayrshire Roads Alliance (Feb 2026) • Pages 147 to 150 - D. Murray (2 March 2026) <p>Pages 151 to 159 - Case Officer comments and Photographs.</p> <p>Pages 160 to 172 - Applicant’s Representations Following Interested Party comments and Case Officer Comments with Photographs.</p> <p>Pages 173 to 174 - Interested Party’s Representations Following Case Officer Comments and Photographs (D. Murray-18 March 2026).</p> <p>Pages 175 to 177 - Draft Conditions.</p>
New Material:	No
Additional Material Any other Comments:	N/A
Dated:	May 2026

Report of Handling of Application

Application Determined under Delegated Powers

The Council's Scheme of Delegation can be viewed at <https://www.south-ayrshire.gov.uk/planning-application-process>

Reference No:	25/00545/APP
Site Address:	62A Main Street Symington South Ayrshire KA1 5QG
Proposal:	Erection of dwellinghouse
Recommendation:	Refusal

This report fulfils the requirements of Regulation 16, Schedule 2, paragraphs 3 (c) and 4 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013 (as amended). The application has been determined in accordance with the Council's Scheme of Delegation as well as the Procedures for the Handling of Planning Applications.

Key Information:

- The application was received on 27 August 2025.
- The application was validated on 27 August 2025.
- A Site Visit was carried out by the Planning Authority on 11 December 2024 under Planning application Ref: 24/00867/APP.
- Neighbour Notification, under Regulation 18 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, was carried out by the Planning Authority on 9 September 2025.
- A Site Notice was posted in the locality under Section 65 of Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 (as amended) by the Planning Authority on 26 September 2025.
- A Public Notice, under The Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 (as amended) was placed in the Local Press on 9 September 2025.

1. Site Description:

The application site forms part of the garden ground associated with 62A Main Street, Symington - a detached, single-storey residential property located within the Symington Conservation Area.

The site comprises a predominantly flat, rectangular parcel of land extending to approximately 770 square metres. It is set back from Main Street and positioned between the residential property at 64 Main Street and the terrace at dwellings at 71–77 Brewlands Crescent.

The southwestern boundary is defined by a Category B-listed stone wall, while the northwestern boundary is enclosed by timber fencing and the northeastern boundary by an established by a hedgerow. A number of mature trees are located both within and immediately adjacent to the site, contributing to the landscape and visual character of the area. Access is to be taken via an existing shared driveway from Main Street, which also serves the neighbouring properties at Nos. 64 and 66 Main Street, as well as the donor property at 62A Main Street.

2. Planning History:

09/01398/FUL - Erection of dwellinghouse - approved - not implemented and time expired.

13/00588/APP - Erection of dwellinghouse - approved - implemented - this application relates to the erection of 62A Main Street (the donor property).

16/01232/APP – Alterations and extension to dwellinghouse (sunroom extension – approved and implemented).

23/00003/APP- Erection of a garage – approved – not implemented but remains extant.

23/00683/PPP - Planning permission in principle for erection of a dwellinghouse – was approved with conditions.

24/00867/APP – Erection of a dwellinghouse – withdrawn by the applicant's agent following concerns raised by the Planning Service.

3. **Background and description of proposal:**

Background

Planning Permission in Principle was approved with conditions in June 2024 for the erection of a dwellinghouse; Planning Ref: 23/00683/PPP (hereafter referred to as the “PPP”). Thereafter, planning application Ref.24/00867/APP was submitted. However, the application was withdrawn following concerns raised by the Planning Service. The Planning Service advised the applicant at the time of the withdrawal, to refer back to the earlier PPP for guidance on the form of development likely to be supported at this location, and in particular to the conditions attached to that permission. Compliance with those conditions would help ensure that any future proposal results in an acceptable form of development.

The conditions on the PPP are as follows:

(1C) The development to which this permission relates must be commenced no later than five years from the date of this permission.

(1R) Reason: To be in compliance with Section 59 of The Town and Country Planning (Scotland) Act 1997, as amended by The Planning etc. (Scotland) Act 2006.

(2C) That this planning permission in principle, subject to the specified planning conditions, relates to the plan(s) as listed below.

(2R) Reason: To clarify the extent of the planning permission and to be in compliance with Section 59 of The Town and Country Planning (Scotland) Act 1997 as amended by section 20 of the Planning etc. (Scotland) Act 2006.

(3C) A further application(s) for the following matters specified in conditions below shall be submitted for the requisite approval in writing of the Planning Authority. No works shall commence on site until the written permission of the Planning Authority has been obtained for the specific matter to which the works relate.

(3R) Reason: To be in compliance with Section 59 of The Town and Country Planning (Scotland) Act 1997, as amended by The Planning etc. (Scotland) Act 2006.

(4C) Full details shall be submitted of the proposed dwellinghouse including scale plans illustrating the extent of the plot, the footprint of the dwellinghouse, elevations, floor plans, garden ground, access and parking areas. That notwithstanding the terms of condition 3 above, the dwellinghouse shall not exceed one-and-a-half storeys in height and there shall be no habitable room windows on the gable elevations.

(4R) Reason: To ensure a suitable residential development in the interests of neighbouring amenity and the character and appearance of the Conservation Area.

(5C) That notwithstanding the terms of condition 3 above, the dwellinghouse, other than a modest front porch, shall not project forward of the front building line as established by the neighbouring properties at 64 and 66 Main Street to the satisfaction of the Planning Authority.

(5R) Reason: In the interests of residential amenity.

(6C) That the existing trees, other than those agreed or approved for removal, shall be retained and protected in accordance with BS 5837:2012 (or as may be amended) Trees in relation to Construction, to the satisfaction of the Planning Authority.

(6R) Reason: In the interests of visual amenity; to ensure that all trees worthy of retention are satisfactorily protected before and during works on site.

(7C) That notwithstanding the terms of condition 3 above, compensatory tree planting shall be on at least a one for one basis. Full details of the proposed replacement trees, including the siting, numbers, species and heights

(at the time of planting) shall be submitted at the Approval of Matters Specified in Conditions stage to the satisfaction of the Planning Authority.

(7R) Reason: In the interests of visual amenity and to ensure a satisfactory standard of local environmental quality.

(8C) That off-road parking spaces shall be provided within the existing site boundary to satisfy provision levels as defined within the Council's adopted National Roads Development Guide, with parking layouts designed to comply with the guidance set out in the National Roads Development Guide, and within the Designing Streets publication as National Policy.

(8R) Reason: In the interest of road safety and to ensure adequate off-street parking provision.

The applicant could have submitted an Application for Matters Specified in Conditions (AMSC) to discharge the detailed condition requirements set out in the PPP. Instead, an application for planning permission for the erection of a dwellinghouse has been submitted. While this approach is procedurally acceptable, the application does not reflect the advice previously provided by the Service - namely, to refer to the conditions attached to the PPP and to use these as the basis for developing an appropriate proposal for a dwellinghouse on the site.

Given the particular constraints of the site including its location, size, configuration, specific siting considerations, and its close relationship with neighbouring properties, using the PPP conditions as guidance is especially prudent, as they outline the parameters necessary to ensure any development is acceptable in planning terms.

Notwithstanding the above, the Planning Service is obligated to assess the planning application as submitted.

Description of Proposal

Planning permission is sought to erect a detached dwellinghouse within the garden ground of 62A Main Street, Symington. The site is approximately 770 square metres and is located within the Symington Conservation Area.

4. Consultations:

Ayrshire Roads Alliance offers no objections subject to conditions and advisory notes in relation to discharge of water, parking arrangements for the new dwellinghouse and donor property and swept path analysis/ access for emergency vehicles.

Council's Sustainable Development (Landscape and Parks) – offers no objections, however, requires that the proposed replanting on a 1:1 ratio is recommended for the removal of trees 2 and 4. Additionally, concerns that the tree roots at trees Nos 5 and 6, as per the submitted Tree Report, will be also impacted due to the access to the site, and the proposed permanent hardstanding encroaching into the tree root areas. It is considered that the total loss of trees would be greater than originally predicted, resulting in a reduction of the protected tree canopy coverage and the wildlife area and the 4 trees proposed to be planted by the applicant, as set out in the submitted Tree Survey Report, would not be sufficient to cover the loss.

West Of Scotland Archaeology Service - offers no objections.

Scottish Water – offers no objections and provides advice for the developer.

5. Submitted Assessments/Reports:

In assessing and reporting on a Planning application the Council is required to provide details of any report or assessment submitted as set out in Regulation 16, Schedule 2, para 4(c) (i) to (iv) of the Development Management Regulations.

A Design and Access Statement accompanies the application, as well as a Tree Report.

The submitted Design and Access Statement provides an overview of the application, including the site context, planning history, design principles, the applicant's aspirations, and proposed materials and design approach. It also seeks to address the concerns previously raised by the Planning Service in relation to the conditions attached to Planning Permission in Principle Ref: 23/00683/PPP.

The statement notes that the application site (currently garden ground) has no special ecological designations and is of low ecological value, and although and it is not anticipated that the proposals will raise any specific

ecological issues, it is considered that there are opportunities to enhance the wildlife value of the site so as to affect a biodiversity gain. The statement outlines the mitigation measures such removal of shrubs or vegetation will avoid the main bird nesting season (March–August). Bird boxes will be installed, a bat roosting feature, native flowers and berry-bearing shrubs as well as lighting and construction safeguards.

The Tree Report considers the condition of all of the trees sited within the donor property and application site. The report advises what trees will be removed to accommodate the proposals, the trees that may potentially be impacted by the development proposals and any mitigation measures required for the remaining protection of trees. There are 6 trees within the application redline site (No. 1 – 6). The report advises that trees No. 2 and 4 (common beech and sycamore) are proposed to be felled to accommodate the proposed development. Tree No. 1 Pedunculate oak and No. 3 sycamore, are to be retained and arboricultural works proposed. Trees 5 and 6 both common beeches are to be monitored. Compensatory planting is also recommended for the loss of the trees.

6. **S75 Obligations:**

In assessing and reporting on a Planning application the Council is required to provide a summary of the terms of any Planning obligation entered into under Section 75 of The Town and Country Planning (Scotland) Act in relation to the grant of Planning permission for the proposed development. None.

7. **Scottish Ministers Directions:**

In determining a Planning application, the Council is required to provide details of any Direction made by Scottish Ministers under Regulation 30 (Directions requiring consultation), Regulation 31 (Directions requiring information), Regulation 32 (Directions restricting the grant of Planning permission) and Regulation 33 (Directions requiring consideration of condition) of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, or under Regulation 50 (that development is EIA development) of The Town and Country Planning (Environmental Impact Assessment) (Scotland) Regulations 2017. None.

8. **Representations:**

Five representations have been received in total (including one from the Symington Community Council) all of which object to the proposed development. All representations can be viewed in full online at www.south-ayrshire.gov.uk/planning and are summarised and responded to below.

- The proposed modern oak-framed villa is unsympathetic to the character of the Symington Conservation Area and contravenes planning policies LDP 2 (Historic Environment /Conservation Areas) and NPF4 Policy 7, which require new development to preserve and enhance the character, setting, and materials of conservation areas.

Response: The impact of the proposal on the conservation area is considered elsewhere within the report.

- The applicant's agent describes the plot as a "gap site," but it is actually the back garden of 62A Main Street.

Response: It is noted that the application site is currently the garden ground of the dwellinghouse at 62A Main Street.

- Images and examples used in the Design and Access Statement are not from within the Symington Conservation Area, making them misleading.

Response: The comments are noted, and it is recognised that some of the images of other properties are not sited within the Symington conservation area; however, this is not a specific requirement of Design and Access Statements. It is not uncommon for such statements to refer to examples elsewhere if there is contextual relevance.

- The B-listed boundary wall is at risk of damage due to the limited space (only one metre from the proposed dwellinghouse) despite claims it will be protected.

Response: It is noted that the proposal is to be sited one metre from the listed boundary wall which formed part of the walled garden of Townend Cottage, a category B listed building. If planning permission was to be granted for the erection of a dwellinghouse in close proximity to the listed wall, this would require to be

conditioned accordingly with a view to ensure that the integrity of the wall was not compromised as a result of the proposal. Any damage to the wall, however, would be a civil matter. It is noted that the applicant's agent sets out mitigation measures within the design and access statement which considered the importance of the listed boundary wall.

- The lack of suitable access for fire engines raises doubts about compliance with emergency access standards and access dangerous for adjacent neighbouring property.

Response: The Ayrshire Roads Alliance (ARA) has raised no objections to the proposed development and has as recommended conditions are attached to any permission. The suggested conditions specifically require swept path analysis for emergency vehicle access.

- The proposal conflicts with Scottish Planning Policy principles ("the right development in the right place") and local planning policies, as well as community concerns about continued erosion of the conservation area and does not meet the statutory test to enhance or preserve the character of the conservation area or nearby Townend Cottage.

Response: Scottish Planning Policy has now been superseded by National Planning Framework 4. An assessment of the proposed development against the Development Plan including National Planning Framework 4 and the Council's Local Development Plan 2 and associated guidance is provided elsewhere in this report.

- Loss of trees detrimental to conservation area, felling of mature trees, regardless of condition, neither preserves nor enhances the Conservation Area.

Response: A Tree Survey accompanies the application submission which recommends 2 trees within the application site are felled. The trees are Category C and the Council's Landscape Officer advises that compensatory planting should be conditioned on a 1:1 basis. However, the Landscape Officer does have some concerns that the tree root protection areas of trees 5 and 6 would be adversely impacted by the proposals and would lead to a further loss of trees. The trees contribute to the landscape and visual character of the area and mitigation measures would be required so as tree 5 and 6 would not be impacted by the development. A separate Tree Works Application has been submitted for consideration by the Council under reference 25/00546/TWA. The Council's Landscape/ Planning Officer will consider the proposed tree works.

- The height, scale and massing of the proposed dwelling, positioned in close proximity to mutual boundaries, would create an overbearing presence, resulting in loss of daylight, privacy and a sense of enclosure for adjacent properties.

Response: The application site is long and narrow, and the footprint of the proposed house sits very close to the mutual boundaries to both the northeast and southwest. It would be positioned only 1 metre from the boundary with No. 64 and 1.3 metres from the shared boundaries with 71-77 Brewlands Crescent. The northeast elevation is 16.8 metres in length, and when combined with the proposed height of 8.15 metres, would create a visually dominant and overbearing structure, particularly when viewed from the properties at 71-75 Brewlands Crescent to the northeast. This is considered further in the assessment section of this report.

- The proposal would adversely affect the outlook from neighbouring dwellings, disrupting existing open views.

Response: The right to a view is not a material planning consideration in the assessment of a planning application. However, it is acknowledged that the height, scale, and design of the proposed dwelling reaching 8.15 metres and positioned only 1.3 metres from the boundary with the neighbouring properties at 71-77 Brewlands Crescent would alter the outlook and appear visually dominant and overbearing – particularly with regards to the outlook from no.'s 71-75 Brewlands Crescent. This is outlined further, below.

- Noise, dust and traffic impact on neighbouring properties.

Response: It is noted that, if planning permission was granted for the proposed development, then there is potential for construction works to be an inconvenience to neighbouring properties; however, the works would be temporary in nature and not uncommon. However, it is for the Council's Environmental Health Service to address such matters under their statutory powers. The planning process considers the impact of the resultant development on the locality (it does not legislate the construction process).

9. Development Plan:

On 13 February 2023, Scottish Ministers published and adopted National Planning Framework 4 ('NPF4'). NPF4 sets out the Scottish Ministers position in relation to land use planning matters and now forms part of the statutory development plan, along with the South Ayrshire Local Development Plan 2 ('LDP2') (adopted August 2022).

Sections 25(1) and 37(2) of The Town and Country Planning (Scotland) Act 1997 (as amended) indicates that in making any determination under the Planning Acts, regard is to be had to the development plan. The determination shall be made in accordance with the plan unless material considerations indicate otherwise. The application is determined on this basis.

Legislation states that in the event of any incompatibility between a provision of NPF4 and a provision of an LDP, whichever of them is the later in date is to prevail (The Town and Country Planning (Scotland) Act 1997 ("the 1997 Act"); Section 24(3)). NPF4 was adopted after the adoption of LDP 2, therefore NPF4 will prevail in the event of any incompatibility.

National Planning Framework 4 (NPF4)

NPF4 confirms that the purpose of planning is to manage the development and use of land in the long-term public interest. This means ensuring the right development happens in the right place. NPF4 also maintains a plan-led system and provides a long-term spatial strategy to 2045 based around enabling the transition to net zero emissions and environmental sustainability; driving inclusive economic growth; and building resilient and sustainable places, which adapt to the impacts of climate change, whilst protecting, recovering and restoring our environment.

The following policies of NPF4 are relevant in the assessment of the application and can be viewed in full online at [National Planning Framework 4 - gov.scot \(www.gov.scot\)](https://www.gov.scot/national-planning-framework-4):

The provisions of NPF4 must, however, be read and applied as a whole, and as such, no policies should be read in isolation. The application has been considered in this context.

National Policies 1 and 2 - Tackling the climate and nature crises, and Climate Mitigation and Adaptation;
National Policies 3 and 4 - Biodiversity and Natural Places;
National Policy 7 Historic assets and places;
National Policy 9 Brownfield, vacant and derelict land and empty buildings;
National Policies 14 and 15 - Design, Quality and Place and Local Living and 20-minute neighbourhoods;
National Policy 16 – Quality homes.

Policy 1 gives significant weight to the global climate emergency in order to ensure that it is recognised as a priority in all plans and decisions. Policy 2 seeks to ensure that emissions from new development are minimised as far as possible. A healthy natural environment is recognised as a key to reducing emissions. Policies 3 and 4 protect, and seek to positively enhance biodiversity and natural assets, which in turn play a crucial role in carbon reduction.

Policy 7 (inter alia) states d) Development proposals in or affecting conservation areas will only be supported where the character and appearance of the conservation area and its setting is preserved or enhanced. Relevant considerations include the: i. architectural and historic character of the area; ii. existing density, built form and layout; and iii. context and siting, quality of design and suitable materials. e) Development proposals in conservation areas will ensure that existing natural and built features which contribute to the character of the conservation area and its setting, including structures, boundary walls, railings, trees and hedges, are retained.

Policy 9 seeks to direct development to the right place, maximising the use of existing assets (such as brownfield, vacant and derelict land and empty buildings), and minimising additional land take (such as greenfield developments).

Policy 14 seeks to encourage and promote the 'Place Principle' and the six qualities of successful places (i.e. healthy, pleasant, connected, distinctive, sustainable, and adaptable). Proposals which are poorly designed, detrimental to the amenity of the surrounding area, or inconsistent with the qualities of successful places will not be supported. Policy 15 encourages and promotes the Place Principle as a means to create connected and compact neighbourhoods where people can meet the majority of their needs within a reasonable distance of

their home. In a plan-led system the development planning process is the mechanism to secure local living and 20-minute neighbourhoods, rather than via an incremental and piecemeal basis through individual planning applications; the SALDP2 allocates the site as an area of countryside, where development proposals require to be carefully considered and managed through the development plan process.

Policy 16 is noted to encourage, promote and facilitate the delivery of more high quality, affordable and sustainable homes, in the right locations.

Although the principle of a dwellinghouse has been deemed as acceptable at the locale under planning permission in principle application reference 23/00683/PPP, the current application fails to accord with the provisions of the above policies, as set out further, below.

South Ayrshire Local Development Plan 2

The following policies of the South Ayrshire Local Development Plan 2 are relevant in the assessment of the application and can be viewed in full online at [Local development plan 2 - South Ayrshire Council \(south-ayrshire.gov.uk\)](https://www.south-ayrshire.gov.uk):

Strategic Policy 1: Sustainable Development;
Strategic Policy 2: Development Management;
LDP Policy: Residential Policy within Settlements, Release Sites and Windfall Sites;
LDP Policy: Historic Environment;
Land Use and Transport;
Natural Heritage

The provisions of the Adopted South Ayrshire Local Development Plan 2 must, however, be read and applied as a whole, and as such, no single policy should be read in isolation. The application has been considered in this context.

Strategic Policy 1: Sustainable Development seeks to support the principle of sustainable development by making sure that development respects, protects and where possible, enhances natural, built and cultural heritage resources.

Strategic Policy 2: Development Management ensures development is in accordance with the site's land use and will be appropriate in terms of layout, scale, massing, design and materials in relation to their surroundings and surrounding land use, that the proposals do not have an unacceptable impact on the amenity of nearby land uses, and are appropriate to the local area in terms of road safety, parking provision and effects on the transport network.

Residential Development within settlements, release sites and windfall sites; The Residential policy provides that additional residential development within settlements will normally be allowed, but subject to a range of considerations:

- a. The site has adequate access for vehicles, which is separate from other property, and which directly connects to the public road network;
- b. The layout, density, plot ratio, scale, form and materials of any proposed development do not detract from the character of the surrounding buildings and the local area;
- c. It does not affect the privacy and amenity of existing and proposed properties;
- d. The site does not form an area of maintained amenity or recreational open space unless it is already part of the established housing land supply;
- e. The site provides a suitable residential environment; and
- f. It provides private and public open space in accordance with the requirements of the LDP Policy: open space, and open space guidelines.

Historic Environment (inter alia) New development should preserve and enhance the character and appearance of South Ayrshire's conservation areas and their settings. This should include the appropriate layout, design, materials, scale and siting of development affecting buildings and structures located within a Conservation Area.

Natural Heritage (inter alia) In all instances, the Council will require development proposals to have regard to safeguarding features of nature conservation value including woodlands, hedgerows, lochs, ponds, watercourses, wetlands and wildlife corridors. We will consider preparing supplementary guidance on the principles of biodiversity off-setting, and the circumstances where this may be considered to be appropriate. Protected Species Planning Permission will not be granted for development that would be likely to have an adverse effect on protected species unless it can be justified in accordance with the relevant protected species legislation.

Preserving Trees when assessing proposals for development that might involve loss of, or work to trees, we will consider how much it would affect the local area and will take measures to protect trees, especially those covered by a provisional or confirmed Tree Preservation Order. Ancient and veteran trees of high nature conservation and landscape value will be protected.

Land Use and Transport This policy seeks to ensure that developments take appropriate measures to keep any negative effects of road traffic on the environment to a minimum, that it does not compromise accessibility to local services, provides parking that reflects the role and location of the development and links to existing and proposed active travel networks (including walking, cycling and public transport networks).

Although the principle of a dwellinghouse has been deemed as acceptable at the locale, the current application fails to accord with the provisions of the above policies, as set out further, below.

10. **Other Relevant Policy Considerations (including Government Guidance):**

In terms of managing change within conservation areas, **Planning Advice Note 71 - Conservation Area Management** - indicates that physical change in conservation areas does not necessarily need to replicate its surroundings. The challenge is to ensure that all new development respects, enhances and has a positive impact on the area. Physical and land use change in conservation areas should always be founded on a detailed understanding of the historic and urban design context. Whilst the scope for new development may be limited in many conservation areas, all will present some opportunities for enhancement.

The principles outlined in PAN71 are largely emphasised by policies HEP2 and HEP4 of the recently adopted **Historic Environment Policy for Scotland**. Policy HEP2 states that decisions affecting the historic environment should ensure that its understanding and enjoyment as well as its benefits are secured for present and future generations, whilst Policy HEP4 states that changes to specific assets and their context should be managed in a way that protects the historic environment. Opportunities for enhancement should be identified where appropriate. If detrimental impact on the historic environment is unavoidable, it should be minimised. Steps should be taken to demonstrate that alternatives have been explored. The provisions of the Historic Environment Policy for Scotland are supplemented by Historic Environment Scotland's Managing Change in the Historic Environment series. The Managing Change documents on Setting and New Design in Historic Settings are particularly relevant.

The Managing Change document on Setting requires planning authorities to take into account the setting of historic assets in the determination of applications for planning permission. Where development is proposed it is important to identify the historic assets that might be affected, define the setting of each historic asset, and assess the impact of any new development on this. Setting often extends beyond the property boundary or 'curtilage' of an individual historic asset into a broader landscape context. Both tangible and less tangible elements can be important in understanding the setting. Less tangible elements may include function, sensory perceptions or the historical, artistic, literary and scenic associations of places or landscapes.

The Managing Change document on New Design in Historic Settings defines new design as all significant designed interventions in the historic environment, including open space, public realm, new build and major alterations and additions. In terms of scale, it covers everything from minor infill to major master-planning exercises. Places and their context change over time and indeed we tend to celebrate these historic changes when viewed from the present day. In taking their place in the evolving character of historic places new designs can also help realise their full economic, and cultural potential. There is a view that new buildings in historic settings should seek to replicate existing buildings in design, appearance and materials. While this may be appropriate in specific circumstances, for example where part of a larger architectural composition had been lost, in general we believe that new interventions in historic settings do not need to look 'old' in order to create a harmonious relationship with their surroundings. Some of the best recent examples are contemporary design responses. This approach suggests an honesty and confidence in our modern architecture which will be valued by future generations. A modern building which disregards its setting is very likely to be regarded as unsuccessful both now and in the future.

It is possible to identify some general principles which can act as prompts to guide successful new development in historic settings. Whilst these prompts will not guarantee high quality in themselves, they provide a useful checklist for designers and stakeholders on the client and assessment side of the design process. There are eight general principles that will sit alongside the design process as the project develops, and these should be applied whatever design solution is arrived at, from the reticent and recessive to the boldly contemporary. The designer should consider all the principles and balance them rather than focus on particular aspects, as an approach from one aspect alone is unlikely to be successful. These principles can also act as a useful checklist for local authority decision makers in exploring whether schemes have been suitably developed. New development should respond to:

- Urban structure
- Urban grain
- Density and mix
- Scale
- Materials and detailing
- Landscape
- Views and landmarks
- Historical development

Guidance Policy 1 of South Ayrshire Council's Guidance on the Historic Environment refers to design quality, and states that development proposals will be considered in terms of compliance with the 'General Criteria for New Development', which applies to both new development and extensions to existing development / buildings.

Guidance Policy 3 refers specifically to development proposals within conservation areas, and states that all new development within, or affecting the setting of, a conservation area shall be required to preserve or enhance its character or appearance. To ensure a consistent high standard of development within conservation areas, proposals will be considered in terms of compliance with the design principles for all proposed development within a conservation area.

An assessment against the policy framework and guidance is set out below.

11. Assessment (including other material considerations):

Planning permission is sought to erect a detached dwellinghouse within the garden ground of 62A Main Street, Symington.

The application site comprises approximately 770 square metres of garden ground associated with the donor property at 62A Main Street, Symington. It is located within the Symington Conservation Area. The donor property and its garden ground were part of the land associated with Townend Cottage, a neighbouring category B listed building. This land was subdivided and now forms the plots of 64, 66, 70, 70A Main Street as well as the donor property 62A Main Street.

The application site is predominantly laid to grass and is generally flat and rectangular in form. The donor dwellinghouse is single storey in height and was designed to reflect the proportions, detailing, and character of a traditional gatehouse (Planning Reference: 13/00588/APP). External finishes of the donor dwellinghouse include large-cut blonde sandstone to the principal elevation, white-painted wet dash render to the remaining walls, and a natural slate roof, all of which contribute to its traditional appearance and complement the surrounding built form.

All development sited within a conservation area does not necessarily need to replicate its surroundings. The challenge is to ensure that all new development respects, enhances and has a positive impact on the conservation area. In this regard, the conditions imposed on Planning Permission in Principle 23/00683/PPP provide a helpful guide to ensure that any development on this site is appropriate, particularly given the site's constrained nature - being a narrow strip of garden ground situated between the neighbouring properties at 64 Main Street, the terraced properties at 71 – 77 Brewlands Crescent and the donor dwellinghouse. The applicant was advised to refer to these conditions in preparing their application.

The conditions specifically stated that although the principle of a dwellinghouse on the site was acceptable, that the proposed dwellinghouse should not exceed 1.5 storey in height, no habitable windows should be on the side elevations, and that the proposed dwellinghouse, if projected forward of the neighbouring property at 64 Main Street, was to be a modest projection only, such as a porch. These conditions were imposed to safeguard the amenity of the immediate neighbouring properties, to ensure an appropriately scaled dwellinghouse within the plot and to safeguard the setting of the conservation area.

Notwithstanding the above-mentioned conditions and the Planning Service's advice that these should be used to guide the design of the current application, the proposed building's overall height of 8.15 metres is comparable to that of an average two-storey dwelling rather than a 1.5-storey dwelling. While a contemporary, asymmetrical sloping roof has been proposed, the overall height is considered excessive for this narrow site and would appear visually dominant. The building extends close to the neighbouring boundaries – 1.3 metres

from the northeast boundary and 1 metre from the southwest boundary, further adding to the building's dominance and overbearing appearance.

The resulting proximity to boundaries, together with the massing and roof profile, would create a visually incongruous form of development that appears cramped within the plot. The proposal would appear particularly dominant and overbearing when viewed from the properties at 71–75 Brewlands Crescent, due to its 16.8-metre-long elevation running alongside the mutual boundaries combined with its overall height of 8.15 metres. The outlook of these properties would therefore be diminished.

With regards the relationship between the proposed dwelling and no.64 Main Street, the 4-metre distance between properties, as referred to in the Council's Open Space Guidance, has almost been met. However, the proposed dwelling projects forward of the building line of No. 64 Main Street by approximately 3 metres. Rather than a modest projection such as a porch, this effectively continues the building line at full height. Although the applicant has sought to replicate the stepped building line arrangement of 64 and 66 Main Street, in this instance, the forward continuation is considered to exacerbate the buildings overall scale, massing and dominance, as it contributes to the 16.8 metre elevation length, which, as noted above, has a direct impact on no.s 71-75 Brewlands Crescent.

It is accepted, however, that the 3-metre projection does not impact No. 64 Main Street to such an extent that it would, in itself, warrant refusal of the application. This is because the 4-metre separation between the properties has almost been met, and the orientation, with the application site located to the northeast of No. 64 -means that any effects on sunlight or overshadowing would be limited to the morning period. In arriving at this view, cognisance has also been taken of the existing circumstances at No. 64. The northeast elevation currently faces a stone boundary wall, which already restricts some natural light to the ground floor window and influences the present situation. With regards to the upper-floor windows on this elevation, note is taken of their northeast orientation and the fact that they serve non habitable rooms. While the proposed rear elevation balcony of the proposed dwellinghouse will overlook some of the rear garden of No.64 at a distance, this would not be direct – the main aspect from the balcony would be into the rear garden of the application site itself.

With regards the land to the rear of the application site, this is garden ground associated with no.70A Main Street. It is not considered that the proposal will have any adverse impact on this property given the separation distances involved.

The proposals do not raise any issues of overriding concern with regards the resulting donor property which would not be adversely impacted due to the separation distances involved, and would have an acceptable access, sufficient remaining garden ground and parking provision.

With regards to windows on the side elevations of the proposed dwelling, while they are present in the current proposal, they are not considered to raise any neighbouring amenity issues of concern. Adequate garden ground is provided in accordance with the Council's Open Space Guidance.

Notwithstanding the assessment with regards no.s 64 and 70A Main Street, the donor property and the assessment against the Council's Open Space guidance, there remain overriding concerns, as outlined above, regarding the height, scale and massing of the proposed dwelling, its resulting cramped appearance within the plot and its overbearing and dominant impact, particularly on no.s 71 to 75 Brewlands Crescent.

Overall, by virtue of its height, scale, massing, design, and proximity to the northeast and southwest boundaries, the proposal would give rise to an unacceptable level of harm to neighbouring residential amenity by being both over-dominant and overbearing. The proposal would also appear cramped within the site given the proximity to these boundaries. It therefore fails to comply with the relevant provisions of the Development Plan, including policies relating to design, scale, and residential amenity, and is not considered to preserve or enhance the character or appearance of Symington Conservation Area. The proposal also fails to comply with historic environment guidance in this regard.

While it is acknowledged that the current application includes certain design amendments intended to address previous privacy concerns - namely, the introduction of a solid block wall to the upper floor balcony, the incorporation of high-level windows on the southwestern elevation, and the use of two non-habitable windows on the northeastern elevation - these changes are not considered sufficient to overcome the substantive issues previously identified by the Planning Service. Neither the submitted supporting documentation nor the visualisations contained within the accompanying Design and Access Statement adequately address or mitigate the fundamental concerns regarding the excessive height, massing, design and proximity to neighbouring properties. Furthermore, the revised design fails to alleviate the identified adverse impacts on the character and

appearance of the surrounding area or to satisfactorily resolve the amenity impacts upon neighbouring properties.

The Ayrshire Roads Alliance offers no objections to the proposals from a traffic and transportation perspective. However, have recommended conditions and advisory notes, specifically relating to discharge of water, parking bay dimensions, off road parking provision, retention of off-road parking for the donor property and access for emergency vehicles.

The submitted Tree Report identifies that two Category C trees require removal to facilitate the proposed development, with mitigation measures proposed to safeguard the remaining trees in accordance with BS 5837:2012 *Trees in Relation to Construction*. Compensatory planting is also proposed to offset the loss of these trees. The Landscape Officer does not object to the removal of the two Category C trees, provided that compensatory planting is implemented on a 1:1 basis. On this basis, the removal of the two trees is not considered to materially affect the character and visual amenity of the immediate locale.

The Council's Landscape Officer has raised concerns regarding the potential loss of additional trees, particularly given that the proposed hardstanding and car parking area would encroach upon the Root Protection Areas of Trees 5 and 6 as identified in the Tree Report. Safeguarding tree 5 and 6 from potential root damage from construction is essential to ensure their continued contribution to the areas character and visual amenity. Notwithstanding, it is recognised that a separate Tree Works Application has been submitted concurrently under reference 25/00546/TWA for the Council's consideration.

NPF4 confirms that the purpose of planning is to manage the development and use of land in the long-term public interest. This means ensuring the right development happens in the right place. Although, the principle of a dwellinghouse has been established and considered acceptable at the application site, the proposed height, scale, design and massing of the proposed dwellinghouse within the narrow plot and its proximity to boundaries results in a dominant and overbearing development, particularly from the perspective of the neighbouring properties at 71-75 Brewlands Crescent. Consequently, the proposal is not considered to meet the statutory test of enhancing or preserving the Conservation Area. As such, the development proposal is considered contrary to the provisions of NPF4, the Local Development Plan 2 and guidance relating to the historic environment and there are no material planning considerations that would out-weigh these policy provisions. Given the above assessment and having balanced the applicants' rights against the general interest, it is recommended that the application be refused, for the reasons below.

12. **Recommendation:**

It is recommended that the application is refused.

Reasons:

(1R) The proposed dwellinghouse is contrary to National Planning Framework 4 (NPF4) Policies 7 and 14; South Ayrshire Council's Local Development Plan 2 (LDP2) Strategic Policy 1: Sustainable Development, Strategic Policy 2: Development Management, Residential Policy within Settlements, Release Sites and Windfall Sites, Historic Environment policy; Historic Environment Policy for Scotland HEP2 and HEP4; Historic Environment Scotland's Managing Change documents on 'Setting' and 'New Design in Historic Settings'; and South Ayrshire Council's Historic Environment Planning Guidance. This is due to the proposed dwelling's height, scale, design, massing, and its close proximity to the northeastern and southwestern boundaries of the application site. The building would appear dominant, overbearing, and visually cramped within the narrow site. It would have an unacceptable impact on neighbouring properties, particularly Nos. 71–75 Brewlands Crescent. As a result, the development fails to preserve or enhance the setting, character and appearance of the Conservation Area.

List of Plans Determined:

Plan Type	Reference	Version No.	Received Date
Drawing	23.016.01		27.08.2025
Drawing	23.016.02 Rev C		27.08.2025
Drawing	23.016.04 Rev C		27.08.2025
Drawing	23.016.05 Rev C		27.08.2025
Drawing	23.016.10		27.08.2025
Drawing	23.016.11		27.08.2025
Drawing	23.016.12		27.08.2025
Drawing	23.016.13		27.08.2025
Drawing	23.016.14		27.08.2025
Drawing	23.016.15		27.08.2025
Drawing	23.016.20		27.08.2025
Drawing	23.016.21		27.08.2025
Drawing	23.016.22		27.08.2025
Drawing	23.016.23		27.08.2025
Drawing	23.016.30		27.08.2025
Drawing	23.016.31		27.08.2025
Drawing	23.016.32		27.08.2025
Drawing	23.016.33		27.08.2025
Drawing	23.016.34		27.08.2025
Supporting Information	DESIGN AND ACCESS STATEMENT		27.08.2025
Supporting Information	TREE SURVEY		27.08.2025

Integrated Impact Assessment:

The consideration of this planning application sits within a policy framework of the Council's Local Development Plan 2 and National Planning Framework 4. These have been the subject of Equalities Impact Assessments which considered how the policies may impact on protected characteristics. Therefore, no separate Integrated Impact Assessment is required.

Decision Agreed By:	<i>Appointed Officer</i>
Date:	<i>5th December 2025</i>



County Buildings Wellington Square Ayr KA7 1DR Tel: [REDACTED] Email: [REDACTED]

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100642322-005

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

Applicant Agent

Agent Details

Please enter Agent details

Company/Organisation:	Ekotect		
Ref. Number:		You must enter a Building Name or Number, or both: *	
First Name: *	Jamie	Building Name:	
Last Name: *	Reid	Building Number:	5
Telephone Number: *		Address 1 (Street): *	Broadwood Park
Extension Number:		Address 2:	Alloway
Mobile Number:		Town/City: *	Ayr
Fax Number:		Country: *	United Kingdom
		Postcode: *	KA7 4XE
Email Address: *			

Is the applicant an individual or an organisation/corporate entity? *

Individual Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	Mr	You must enter a Building Name or Number, or both: *	
Other Title:		Building Name:	
First Name: *	Graham	Building Number:	62A
Last Name: *	Glen	Address 1 (Street): *	Main Street
Company/Organisation		Address 2:	
Telephone Number: *		Town/City: *	Symington
Extension Number:		Country: *	United Kingdom
Mobile Number:		Postcode: *	KA1 5QG
Fax Number:			
Email Address: *			

Site Address Details

Planning Authority:

South Ayrshire Council

Full postal address of the site (including postcode where available):

Address 1:

62A MAIN STREET

Address 2:

SYMINGTON

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

KILMARNOCK

Post Code:

KA1 5QG

Please identify/describe the location of the site or sites

Northing

631595

Easting

238200

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

To build a new dwelling house to the rear garden area of 62A Main Street, Symington, access will be via the existing side driveway from a private road.

Type of Application

What type of application did you submit to the planning authority? *

- Application for planning permission (including householder application but excluding application to work minerals).
- Application for planning permission in principle.
- Further application.
- Application for approval of matters specified in conditions.

What does your review relate to? *

- Refusal Notice.
- Grant of permission with Conditions imposed.
- No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

We seek review on the basis that the decision relies on an undefined interpretation of "1.5 storey", lacks policy support, fails to assess comparative context and dimensional evidence, and does not demonstrate that the proposal results in unacceptable impact beyond that established through Planning Permission in Principle. Full grounds are set out in the accompanying Appeal Statement.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

Yes No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

23.016 - Notice of Review 23.016 - Tree Survey 23.016.01, 23.016.02C, 23.016.04C, 23.016.05C, 23.016.10, 23.016.11, 23.016.12, 23.016.13, 23.016.14, 23.016.15, 23.016.20, 23.016.21, 23.016.22, 23.016.23, 23.016.30, 23.016.31, 23.016.32, 23.016.33, 23.016.34 - Submitted Drawings 23.016 - Design and Access Statement Report of Handling Planning Permission in Principle approval - 23/00683/PPP 25/00796/APP - Elevations 1 & 2 - Recently approved 1.5 storey house in Symington

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

25/00545/APP

What date was the application submitted to the planning authority? *

26/08/2025

What date was the decision issued by the planning authority? *

08/12/2025

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

Yes No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

Yes No

Is it possible for the site to be accessed safely and without barriers to entry? *

Yes No

If there are reasons why you think the local Review Body would be unable to undertake an unaccompanied site inspection, please explain here. (Max 500 characters)

The site can be viewed from public land at Brewlands Crescent car park through the boundary hedge. Direct access is via the adjacent private cul-de-sac under the applicant's ownership. There are no access or safety constraints preventing an unaccompanied inspection. The property has domestic pets; the access gate should be closed after entry.

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

Yes No

Have you provided the date and reference number of the application which is the subject of this review? *

Yes No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

Yes No N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

Yes No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

Yes No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr Jamie Reid

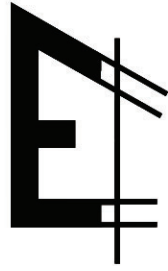
Declaration Date: 12/02/2026

Payment Details

Online payment: AX291R

Payment date: 12/02/2026 14:16:49

Created: 12/02/2026 14:16



EKOTECT

NOTICE OF REVIEW STATEMENT

Planning Application Ref: 25/00545/APP

Proposed Dwellinghouse

Land to the Rear of 62A Main Street

Symington

KA1 5QG

Client

Mr G. Glen.

Client: Mr G. Glen

62A Main Street

Symington

KA1 5QG

Agent: Ekotect Ltd

5 Broadwood Park

Ayr

KA7 4XE

1. Introduction

This appeal is submitted against the refusal of planning permission for a dwellinghouse at land to the rear of 62A Main Street, Symington.

The appeal is founded on a **failure of reasoning and evidential assessment**, rather than disagreement with the principle of development or with the role of professional planning judgement. The refusal is not supported by a clear or proportionate assessment of policy, nor by meaningful engagement with the evidence submitted in support of the application.

The appeal does not seek to re-open the principle of development, which was established through the grant of Planning Permission in Principle (PPP Ref. 23/00683/PPP). Instead, it addresses the Planning Authority's conclusions regarding height, scale, massing and perceived impact, which are considered to be **unsupported by defined policy benchmarks, inconsistently applied, and inadequately reasoned**.

2. Planning History

Planning Permission in Principle was granted in June 2024 for a dwellinghouse on this site. The principle of residential development, including its siting, access, and relationship to neighbouring properties, was therefore accepted by the Planning Authority.

The PPP followed a **site visit by the previous case officer**, during which the site's constraints, access, proximity to Brewlands Crescent, relationship to the listed boundary wall, and overall capacity to accommodate a dwelling (including the design, with brochure references – see figure 1) were fully assessed and found acceptable.

The approval of PPP is a critical material consideration. Planning Permission in Principle confirmed that a **dwellinghouse is acceptable in this precise location**, with full awareness of:

- The site's constrained geometry
- The relationship of the dwelling and proximity with neighbouring properties, including Brewlands Crescent, which was not considered fundamentally harmful
- The relationship with the listed boundary wall
- The use of the existing access arrangement
- The subdivision of the donor plot
- A built form of domestic scale is appropriate

While conditions were attached, these must be interpreted **reasonably and proportionately**, and in the context of national and local policy.

Any assessment of the detailed application must therefore proceed on the basis that **a dwelling of domestic scale is acceptable here**, subject to reasonable design control.

This is a critical contextual anchor which the subsequent assessment does not fully carry through.

Following the grant of PPP, a detailed planning application was submitted and subsequently withdrawn prior to determination to allow refinement of the proposal.

The current application (Ref. 25/00545/APP) was submitted as a revised detailed application, addressing matters raised during the assessment of the earlier detailed submission, including:

- Privacy and overlooking
- Tree protection and landscaping
- Access and parking arrangements

The principle of development was not revisited during the assessment of the current application. The refusal relates solely to matters of scale, massing and perceived impact.



Figure 1: Oakwright Brochure presented to Case Officer on site

3. Principle of Development and Scope of Assessment

Council's Position

The Delegated Report acknowledges that Planning Permission in Principle has been granted and that the principle of a dwellinghouse on the site is established.

Appellant's Response

This is agreed. The grant of PPP confirms that the Planning Authority accepted the presence of a dwellinghouse in this precise location, with full awareness of site constraints and neighbouring relationships.

The detailed application therefore required an assessment of whether the submitted design resulted in **material harm beyond that already accepted at PPP stage**. The refusal must be considered within this limited scope.

The Delegated Report does not demonstrate that such additional harm has been established.

4. Proximity to Boundaries and Site Constraints

Council's Position

The Delegated Report refers to proximity to site boundaries as contributing to perceived impact.

Appellant's Response

- Boundary proximity was known and accepted at PPP stage.
- The constrained width of the site limits alternative siting and design options.
- The site geometry has **not changed**
- No new relationship has been created by the detailed application

The proposal has been **specifically designed to respond to this constraint**, including tapering down towards the most sensitive boundary. The narrow site requires a linear design, therefore the gable elevations have been placed on the short east-west axis to provide the house with natural light and garden access without overlooking adjacent properties to the north and south.

The Delegated Report does not demonstrate how boundary proximity now results in unacceptable harm beyond that already accepted in principle.

5. Interpretation of 1.5 Storey Restrictions in an Urban Settlement Context

Council's Position

The Delegated Report places weight on the perceived height of the proposal in relation to a 1.5-storey restriction applied at Planning Permission in Principle stage.

Appellant's Response

The application of a 1.5-storey restriction must be considered within its **policy and locational context**.

As set out in the Design and Access Statement, the appeal site lies **within the defined settlement boundary** of Symington and is therefore located in an **urban setting**, rather than within the countryside or rural area. Within both the South Ayrshire Local Development Plan and National Planning Framework 4, restrictive height controls of this nature are typically associated with **rural or countryside locations**, where limitations on scale are applied to protect landscape character and openness.

In contrast, development within settlement boundaries is assessed primarily on the basis of:

- Contextual fit
- Relationship to neighbouring development
- Amenity impacts
- Proportionality of scale

There is **no adopted policy or supplementary guidance** within the Development Plan that mandates a 1.5-storey typology for new dwellings in urban settlement locations, nor any guidance that defines how such a restriction should be interpreted where it is applied.

Furthermore, there is **no adopted definition of a "1.5 storey" dwelling** within:

- National Planning Framework 4
- The South Ayrshire Local Development Plan
- Any adopted supplementary guidance

The Planning Authority has confirmed that its interpretation of the definition relied upon is not published policy and derives from informal internal discussions and general dictionary descriptions, neither of which constitute policy or formal guidance.

This is a critical flaw in the decision-making process. A condition which is:

- Undefined in policy
- Unsupported by adopted guidance
- Applied inconsistently

This cannot reasonably be used as the primary basis for refusal. In the absence of defined and measurable standards (such as maximum eaves height, eaves height, or proportion of upper-floor accommodation), the restriction cannot reasonably be applied as a rigid numerical or typological limit. Instead, compliance must be assessed through **comparative analysis and impact-based assessment**, taking account of surrounding built form and site constraints. The Delegated Report does not demonstrate that such an approach has been undertaken.

The Delegated Report does not explain:

- why a restriction more commonly associated with rural settings should be determinative in this urban context.
- how that restriction should be interpreted in the absence of adopted guidance.
- how the proposal's height results in unacceptable impact when compared with neighbouring development along the same axis.

The surrounding built context along this axis of the settlement comprises dwellings generally ranging from approximately **1.75 to 2.5 storeys in height**, with the exception of the donor property. In this context, a rigid application of a 1.5-storey typology would not reflect the prevailing character of the area.

The assessment of the proposal should therefore be based on:

- how the dwelling sits within the application site, and
- how its scale and massing relate to surrounding properties,

rather than on adherence to an undefined typological label.

The appellant provided wider context drawings and comparative sections, including a comparison with a bungalow-style alternative, to demonstrate that the appeal proposal represents a proportionate and contextually appropriate form of development. The Delegated Report does not meaningfully engage with this evidence.

Accordingly, reliance on the 1.5-storey restriction, without explanation of its policy basis, relevance to an urban site, or interpretation in practice, does not provide a sound or reasoned basis for refusal.

6. Consistency and Predictability of Decision-Making

Council's Position

The Delegated Report concludes that the proposal, by virtue of its height and massing, is not compatible with a 1.5-storey form or with the surrounding context.

Appellant's Response

The absence of an adopted definition of "1.5 storey" is further illustrated by the treatment of comparable development within the settlement.

Planning Application Ref. 25/00796/APP, located within Symington but outwith the defined settlement boundary, was recently approved and is described within its submission documentation as a 1.5-storey dwelling.

A review of the approved drawings indicates that this development exhibits:

- A ridge height of approximately 8.32 metres
- Eaves heights of approximately 5 metres above ground level
- Upper floor accommodation with full headroom at the lowest point well in excess of 2 metres

Interpretive Benchmark Comparison

The correspondence provided at Appendix A indicates that a "1.5 storey" dwelling is understood to comprise a form where the wall head does not extend materially above ground floor ceiling level, with upper accommodation largely contained within the roof space.

A review of the approved drawings for Planning Application Ref. 25/00796/APP demonstrates that the wall head of the approved dwelling extends significantly above ground floor ceiling level, resulting in a substantial vertical wall zone at upper level prior to commencement of the roof structure.

This comparative analysis further illustrates the absence of a defined or consistently applied interpretive framework for assessing what constitutes a 1.5-storey form.

By comparison, the appeal proposal comprises:

- A lower ridge height of approximately 8.15 metres
- Reduced eaves height of approximately 4.2 metres on the elevation facing Brewlands Crescent
- Upper floor accommodation tapering significantly within the roof form, with substantially reduced headroom at the lowest points

The comparative analysis demonstrates that the appeal proposal presents a **less vertically dominant form**, particularly in relation to its most sensitive boundary.

The Delegated Report does not explain why the appeal proposal is considered incompatible with a 1.5-storey typology when other developments described as such exhibit materially greater wall heights and upper floor massing.

There are other examples approved applications across South Ayrshire where dwellings described as “1.5 storey” exhibit:

- Higher ridge heights
- Greater eaves heights

These developments are located in **more sensitive rural settings**, outside the settlement boundary. If the interpretation applied to this appeal site were applied consistently, those applications would also fail.

The absence of such consistency raises legitimate concern regarding:

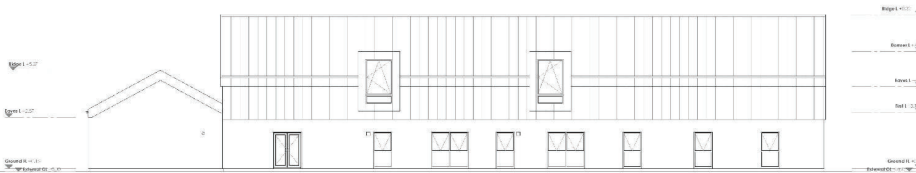
- Unequal application of standards
- Subjective decision-making
- Lack of policy certainty

In the absence of such a framework, the refusal of the appeal proposal on the basis of perceived storey height lacks a clear evidential foundation.

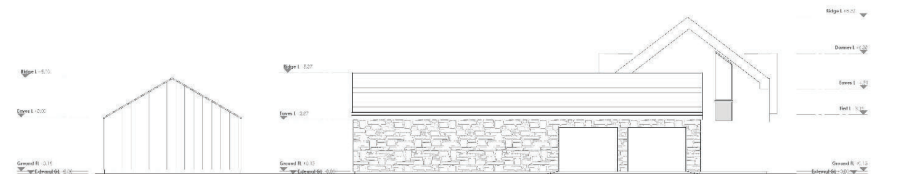
Planning decisions must be **predictable, transparent and consistent**, as required by law and national guidance.



Proposed Elevation A-A



Proposed Elevation B-B



Proposed Elevation C-C



Proposed Elevation D-D

NOTES
 Do not scale from the sheets. All dimensions to be checked by the contractor before construction and prior to the beginning of any component. Changes have to be reported to LMA Architects.
 This drawing is copyright of LMA Architects. This drawing cannot be copied or reproduced in part or full without the written consent of LMA Architects.



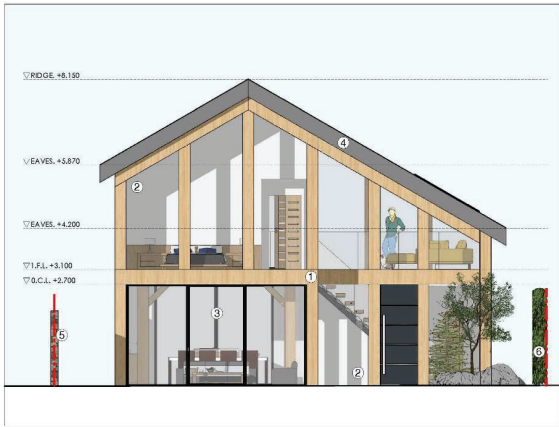
Revision	Date	Description	By

LMA ARCHITECTS
 100 West George Street | Glasgow, G2 3PP
 0141 201 1100 | 0141 201 1101 | www.lma.co.uk

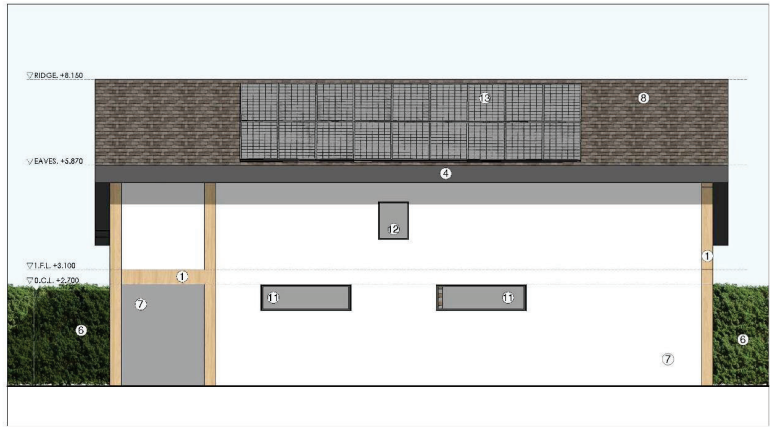
Client:
Mr Ron Turkington
 Project:
Dyke Farm Shed
Symington, KA1 5PN

Drawings:
Proposed Elevations 1 of 2

Date	Drawn/Revised	Checked
21_07_23	LJ/02/010	
21_07_23	RT/02	



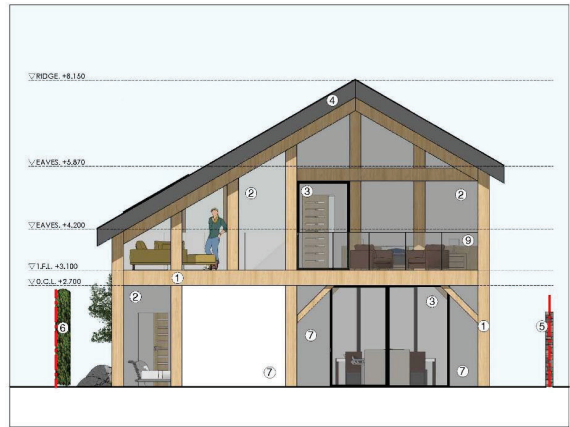
FRONT ELEVATION (SOUTH-EAST)
SCALE 1/80



SIDE ELEVATION (SOUTH-WEST)
SCALE 1/80



REAR ELEVATION (NORTH-EAST)
SCALE 1/80



REAR ELEVATION (NORTH-WEST)
SCALE 1/80

This drawing has been prepared for the purposes of obtaining planning permission and is not intended to be used for any other purpose. It is not to be used for any other purpose without the written consent of the architect. It is not to be used for any other purpose without the written consent of the architect.

material schedule

- ① oak framing
- ② recessed glazing
- ③ black/anthracite aluminum doors
- ④ dark grey fascia board
- ⑤ existing boundary stone wall
- ⑥ existing boundary hedge enlarged
- ⑦ white render
- ⑧ dark grey natural roof slate
- ⑨ glass railing
- ⑩ black skylights
- ⑪ high level dark grey aluminum windows
- ⑫ dark grey aluminum window with opaque glass
- ⑬ solar panels

DATE	23.01.24	BY	JK
REVISED	21.11.23	BY	JK
DATE	16.08.23	BY	JK
DATE	16.08.23	BY	JK

Elwood Architecture Studio

5 Broadwood Park
Ayr
South Ayrshire
KA1 5DE
www.elwood.co.uk

PLANNING	
Client	Mr. Graham Glen
Project	Proposed Dwelling House
Address	62A Main Street Symington KA1 5DG
Elevations as Proposed	
Scale	1/80
Sheet	A1
Date	23.01.24
Drawn by	JK
Checked by	JK

7. Compliance of the Proposal with a 1.5 Storey Interpretation

Notwithstanding the above, the proposed dwelling **does comply with any reasonable architectural understanding of a 1.5 storey house**, as demonstrated in the submitted drawings and sections.

Key characteristics include:

- A reduced eaves height of approximately **4.2m on the elevation facing Brewlands Crescent**
- An upper floor that is **not full-height across the footprint**
- A roof-dominant form with limited wall height at upper level
- A deliberately asymmetric section, tapering down towards the most sensitive boundary

Importantly:

- The elevation facing Brewlands Crescent (the cited receptor) is the **lowest part of the building**
- The majority of what is visible above the boundary hedge is **roof form**, not wall mass
- Gutter/eaves height at this elevation is only marginally above that of a bungalow-style alternative

8. Height, Scale and Massing

Council's Position

The Delegated Report concludes that, by virtue of its ridge height (approximately 8.15m), length (approximately 16.8m), and proximity to boundaries, the proposal would appear visually dominant and overbearing, particularly when viewed from Brewlands Crescent.

Appellant's Response

This conclusion is not supported by a proportionate or reasoned assessment.

The assessment relies primarily on overall ridge height, without identifying any policy basis for why this is the determinative measure of impact. No comparative height analysis within the settlement is provided.

The report fails to meaningfully assess **eaves height**, which is the primary determinant of perceived enclosure. As demonstrated on Drawing 23.016.30 (Street Sections), the eaves height on the elevation facing Brewlands Crescent is approximately 4.2m, with the upper floor largely contained within the roof form. The proposal is therefore **roof-dominant rather than wall-dominant**, a distinction not addressed in the Delegated Report.

The assessment does not explain why the identified dimensions result in unacceptable impact when the principle of a dwelling of domestic scale in this constrained location has already been accepted through the grant of PPP.

In the absence of defined benchmarks or comparative analysis, the conclusion that the proposal is unacceptably tall or dominant is a matter of assertion rather than reasoned planning judgement.

9. Relationship with Brewlands Crescent

Council's Position

The Delegated Report states that the proposal would appear visually dominant and overbearing when viewed from properties at Brewlands Crescent.

Appellant's Response

The submitted evidence does not support this conclusion. The Delegated Report does not explain why the appeal proposal results in materially greater harm than any other reasonable dwelling form at this location. This position is not supported for the following reasons:

1. **The principle of a dwelling in this position is already established by PPP**
2. The site is constrained, and the dwelling cannot be moved further from the boundary
3. The boundary hedge is approximately 2.5 meters in height, meaning that any dwelling approved at this site will inevitably be visible above this level. Visibility alone cannot reasonably be equated with unacceptable impact, particularly where the perceived mass above the hedge is predominantly roof form.
4. The proposal is located over 16 meters wall-to-wall from Brewlands Crescent properties as shown on Drawing 23.016.30 (Street Sections), a separation distance exceeding typical urban residential standards. This distance is acknowledged but not meaningfully weighed in the planning balance.
5. The eaves height facing Brewlands Crescent is deliberately minimised
6. The perceived impact is primarily of **roof form**, not vertical wall mass

In this context, the Planning Authority's reasoning effectively argues that **no acceptable dwelling form could exist on the site**, which directly contradicts the earlier PPP approval.

10. Comparative Assessment and Alternatives

Council's Position

The Delegated Report implies that a lower or simpler form of development would be preferable, without identifying a specific acceptable alternative.

Appellant's Response

The appellant submitted comparative drawings showing a bungalow-style dwelling (replicating the donor property) that aligns with the Planning Authority's implied preference – see drawings 23.016.30, 23.016.31, 23.016.32, 23.016.33 & 23.016.34. These drawings demonstrate that:

- The bungalow alternative reaches a comparable ridge height
- It requires a steeper roof pitch
- It produces a longer and more continuous built mass
- It results in a greater wall-to-wall presence when viewed from Brewlands Crescent

The alternative implied preference would also require significant areas of dormer windows and skylights on the roof to create sufficient headroom height and natural daylight to make the upper floor a useable space. This would have a **negative impact** on neighbouring properties with direct overlooking issues onto gardens and window to window.

The Delegated Report **fails to acknowledge or analyse this evidence**, and provides no explanation as to why the appeal proposal is considered more harmful than the alternative implicitly favoured.

This omission is significant. It undermines the Council's claim that the refused proposal causes greater harm than a lower-storey alternative, when the evidence demonstrates the opposite.

11. Conservation Area Considerations

Council's Position

The report concludes that the proposal fails to preserve or enhance the character of the Symington Conservation Area.

Appellant's Response

This conclusion is not supported by a clear assessment of conservation area character or public views.

The site is visually enclosed and not prominent within the wider streetscape. The surrounding context exhibits varied building heights, forms and architectural styles. There is no consistent "bungalow-only" character, and it could be argued that a significantly reduced dwelling would therefore appear **uncharacteristically small and visually incongruous**, rather than preserving character.

The relationship between the appeal proposal and adjacent development is clearly illustrated on Drawing 23.016.31 (Street Elevation), which demonstrates that the proposal sits comfortably within the varied height and form of surrounding properties.

The assessment does not identify harm to the public realm or to the defining characteristics of the Conservation Area. The report appears to conflate private visual impact with conservation area character, without demonstrating the policy harm required by NPF4 Policy 7.

12. Environmental and Sustainability Considerations

While the appeal relates primarily to matters of scale and visual impact, it is noted that the proposal incorporates a range of sustainable design measures, as set out in detail within the submitted Design and Access Statement.

These include prefabricated construction methods to reduce site disruption, the integration of solar photovoltaic panels, passive ventilation strategies, and biodiversity enhancements such as new tree planting and ecological features including bird boxes.

In addition, the landscape strategy exceeds minimum arboricultural requirements. The appellant has committed to the retention of trees identified within the Arboricultural Assessment as being suitable for removal, and to the provision of new tree planting in excess of compensatory replacement requirements.

These measures reflect the environmental principles embedded within National Planning Framework 4, including the promotion of biodiversity enhancement and low-carbon development.

While sustainability considerations do not override matters of design assessment, they reinforce that the proposal represents a responsible and policy-aligned form of residential development within the settlement boundary.

13. Overall Planning Balance

Council's Position

The Delegated Report concludes that the proposal's scale and massing result in unacceptable impact.

Appellant's Response

When assessed objectively, the proposal:

- Complies with the principle established by Planning Permission in Principle
- Responds sensitively to a constrained site
- Results in no greater impact than alternatives implicitly suggested
- Has not been shown, through evidence-based analysis, to cause material harm
- Represents a policy-compliant form of development within an urban settlement

The refusal is therefore not supported by a coherent or proportionate planning rationale.

14. Conclusion

This appeal is founded on a **failure of reasoning**, not disagreement with professional judgement.

The Planning Authority has not demonstrated:

- Why ridge height alone is determinative of impact
- Why accepted site constraints now justify refusal
- Why the proposal is materially more harmful than reasonable alternatives
- Why comparative evidence was not engaged with

The refusal rests primarily on an undefined and inconsistently applied interpretation of “1.5 storey”. The appellant respectfully submits that the refusal is **not supported by policy, evidence, or consistency**, and that planning permission should therefore be granted.

APPENDIX A – Correspondence Relating to Interpretation of “1.5 Storey” Development

This appendix provides supporting correspondence between the appellant and South Ayrshire Council Planning Authority relating to the interpretation of a “1.5 storey” dwellinghouse form, as referenced within the Planning Permission in Principle (Ref. 23/00683/PPP) and subsequently considered during the assessment of Planning Application Ref. 24/00867/APP.

The correspondence is included to document clarification sought by the appellant regarding how a 1.5 storey typology is defined and interpreted in practice by the Planning Authority.

The responses provided confirm that no formal or adopted definition exists within South Ayrshire Planning Service, and that interpretation is based on general descriptive understanding rather than policy or supplementary guidance.

The documents are reproduced in full for completeness and evidential context. No alteration or annotation has been made to the original correspondence.

Contents

Figure A1

Email correspondence from South Ayrshire Council providing clarification on the interpretation of a “1.5 storey” dwellinghouse form.

Figure A2.1 & A2.2

Follow-up correspondence from South Ayrshire Council regarding the application of Planning Permission in Principle conditions and interpretive context.

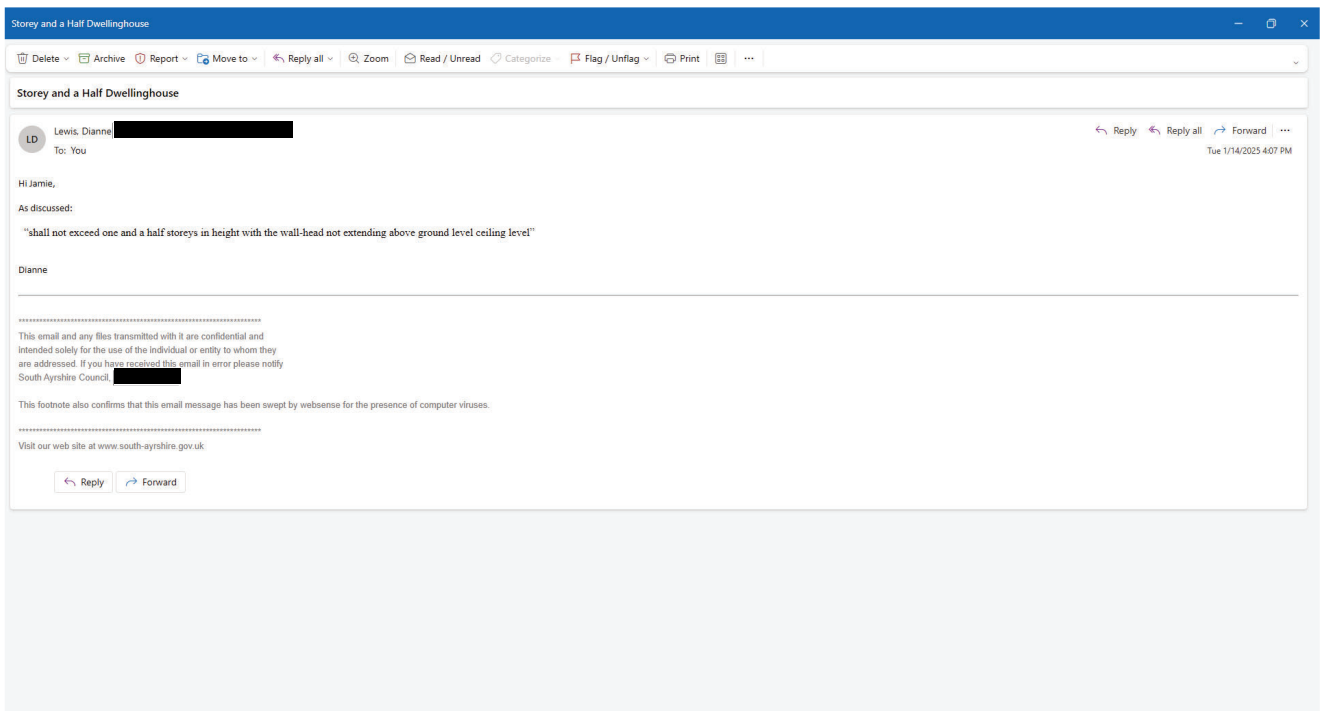


Figure A1 – Email from Planning Authority clarifying interpretation of “1.5 storey

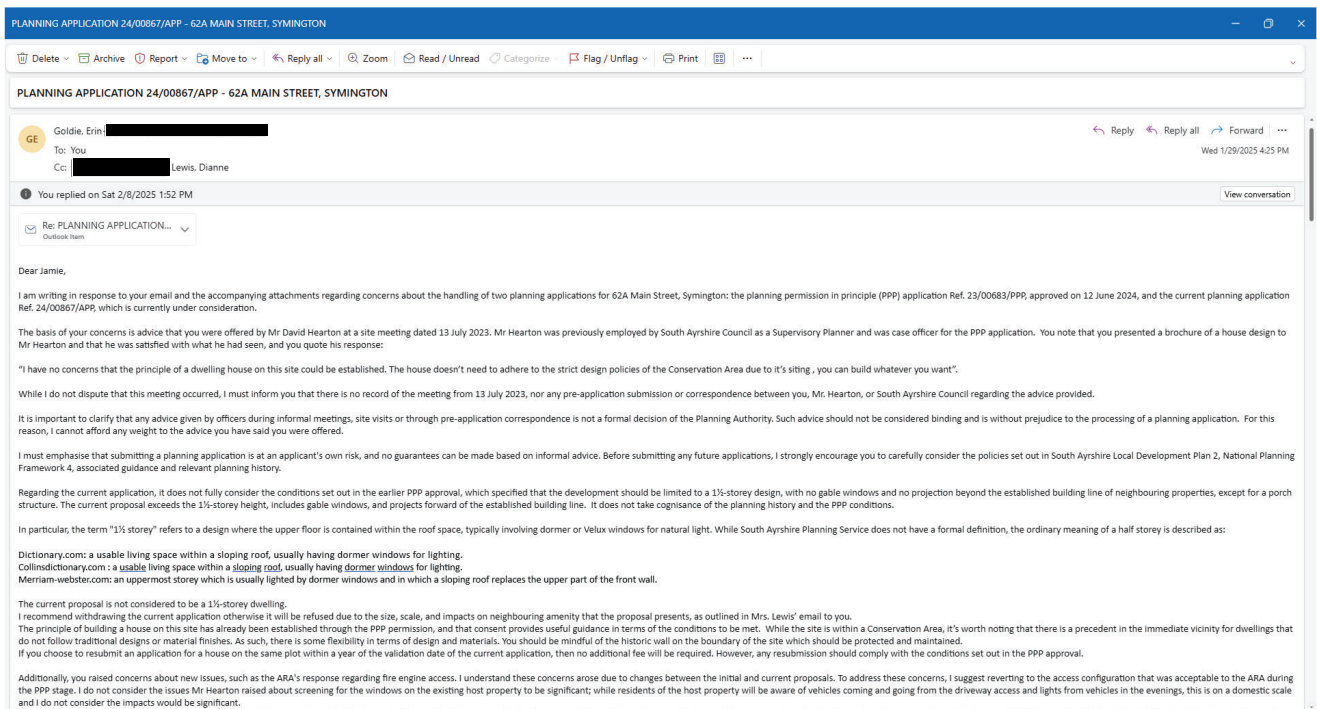


Figure A2.1 - Follow-up correspondence regarding interpretation and PPP parameters

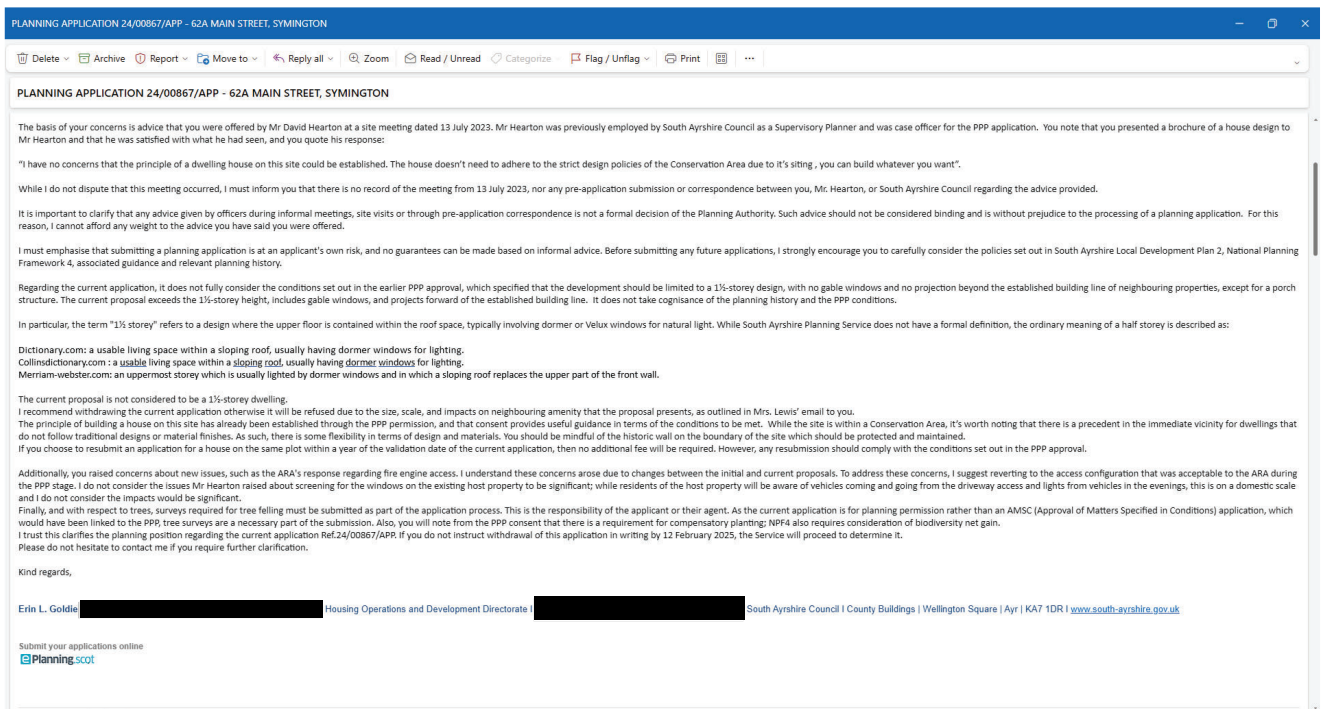


Figure A2.2 - Follow-up correspondence regarding interpretation and PPP parameters (continued)



County Buildings Wellington Square Ayr KA7 1DR Tel: [REDACTED] Email: [REDACTED]

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100642322-003

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Type of Application

What is this application for? Please select one of the following: *

- Application for planning permission (including changes of use and surface mineral working).
- Application for planning permission in principle.
- Further application, (including renewal of planning permission, modification, variation or removal of a planning condition etc)
- Application for Approval of Matters specified in conditions.

Description of Proposal

Please describe the proposal including any change of use: * (Max 500 characters)

To build a new dwelling house to the rear garden area of 62A Main Street, Symington, access will be via the existing side driveway from a private road.

Is this a temporary permission? * Yes No

If a change of use is to be included in the proposal has it already taken place?
(Answer 'No' if there is no change of use.) * Yes No

Has the work already been started and/or completed? *

- No Yes – Started Yes - Completed

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application) Applicant Agent

Agent Details

Ekotect	
Jamie	
Reid	5
██████████	Broadwood Park
	Alloway
	Ayr
	United Kingdom
	KA7 4XE
██	

Organisation/Corporate entity

Applicant Details

Mr	
Graham	62A
Glen	Main Street
	Symington
	United Kingdom
	KA1 5QG
██	

Site Address Details

Planning Authority:

South Ayrshire Council

Full postal address of the site (including postcode where available):

Address 1:

62A MAIN STREET

Address 2:

SYMINGTON

Address 3:

Address 4:

Address 5:

Town/City/Settlement:

KILMARNOCK

Post Code:

KA1 5QG

Please identify/describe the location of the site or sites

Northing

631595

Easting

238200

Pre-Application Discussion

Have you discussed your proposal with the planning authority? *

Yes No

Pre-Application Discussion Details Cont.

In what format was the feedback given? *

Meeting Telephone Letter Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

We met with David on site to discuss our proposal. David suggested that the siting of the house would appear to be acceptable in principle, providing it does not result in a significant overlooking/overshadowing impact of neighbouring properties. It was also advised that the house would not need to follow conservation design guidelines due to its setting. A PPP application was submitted and we obtained approval on 12th June 2024 (23/00683/PPP)

Title:

Mr

Other title:

First Name:

David

Last Name:

Hearton

Correspondence Reference Number:

23/00683/PPP

Date (dd/mm/yyyy):

12/06/2024

In what format was the feedback given? *

Meeting Telephone Letter Email

Please provide a description of the feedback you were given and the name of the officer who provided this feedback. If a processing agreement [note 1] is currently in place or if you are currently discussing a processing agreement with the planning authority, please provide details of this. (This will help the authority to deal with this application more efficiently.) * (max 500 characters)

Planning application was determined to be recommended for refusal due to conditions from the PPP not being adhered to and new comments from ARA being raised.

Title:

Ms

Other title:

First Name:

Diane

Last Name:

Lewis

Correspondence Reference Number:

24/00867/APP

Date (dd/mm/yyyy):

14/01/2025

Note 1. A Processing agreement involves setting out the key stages involved in determining a planning application, identifying what information is required and from whom and setting timescales for the delivery of various stages of the process.

Site Area

Please state the site area:

770.00

Please state the measurement type used:

Hectares (ha) Square Metres (sq.m)

Existing Use

Please describe the current or most recent use: * (Max 500 characters)

Existing garden ground and secondary driveway

Access and Parking

Are you proposing a new altered vehicle access to or from a public road? *

Yes No

If Yes please describe and show on your drawings the position of any existing. Altered or new access points, highlighting the changes you propose to make. You should also show existing footpaths and note if there will be any impact on these.

Are you proposing any change to public paths, public rights of way or affecting any public right of access? *

Yes No

If Yes please show on your drawings the position of any affected areas highlighting the changes you propose to make, including arrangements for continuing or alternative public access.

How many vehicle parking spaces (garaging and open parking) currently exist on the application Site?

6

How many vehicle parking spaces (garaging and open parking) do you propose on the site (i.e. the Total of existing and any new spaces or a reduced number of spaces)? *

6

Please show on your drawings the position of existing and proposed parking spaces and identify if these are for the use of particular types of vehicles (e.g. parking for disabled people, coaches, HGV vehicles, cycles spaces).

Water Supply and Drainage Arrangements

Will your proposal require new or altered water supply or drainage arrangements? *

Yes No

Are you proposing to connect to the public drainage network (eg. to an existing sewer)? *

- Yes – connecting to public drainage network
 No – proposing to make private drainage arrangements
 Not Applicable – only arrangements for water supply required

Do your proposals make provision for sustainable drainage of surface water?? *
(e.g. SUDS arrangements) *

Yes No

Note:-

Please include details of SUDS arrangements on your plans

Selecting 'No' to the above question means that you could be in breach of Environmental legislation.

Are you proposing to connect to the public water supply network? *

- Yes
 No, using a private water supply
 No connection required

If No, using a private water supply, please show on plans the supply and all works needed to provide it (on or off site).

Assessment of Flood Risk

Is the site within an area of known risk of flooding? *

Yes No Don't Know

If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application can be determined. You may wish to contact your Planning Authority or SEPA for advice on what information may be required.

Do you think your proposal may increase the flood risk elsewhere? *

Yes No Don't Know

Trees

Are there any trees on or adjacent to the application site? *

Yes No

If Yes, please mark on your drawings any trees, known protected trees and their canopy spread close to the proposal site and indicate if any are to be cut back or felled.

Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste (including recycling)? *

Yes No

If Yes or No, please provide further details: * (Max 500 characters)

Bin storage have been located next to the car parking spaces, which makes it easier to take them to the end of the private road for collection.

Residential Units Including Conversion

Does your proposal include new or additional houses and/or flats? *

Yes No

How many units do you propose in total? *

1

Please provide full details of the number and types of units on the plans. Additional information may be provided in a supporting statement.

All Types of Non Housing Development – Proposed New Floorspace

Does your proposal alter or create non-residential floorspace? *

Yes No

Schedule 3 Development

Does the proposal involve a form of development listed in Schedule 3 of the Town and Country Planning (Development Management Procedure (Scotland) Regulations 2013) *

Yes No Don't Know

If yes, your proposal will additionally have to be advertised in a newspaper circulating in the area of the development. Your planning authority will do this on your behalf but will charge you a fee. Please check the planning authority's website for advice on the additional fee and add this to your planning fee.

If you are unsure whether your proposal involves a form of development listed in Schedule 3, please check the Help Text and Guidance notes before contacting your planning authority.

Planning Service Employee/Elected Member Interest

Is the applicant, or the applicant's spouse/partner, either a member of staff within the planning service or an elected member of the planning authority? *

Yes No

Certificates and Notices

CERTIFICATE AND NOTICE UNDER REGULATION 15 – TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (SCOTLAND) REGULATION 2013

One Certificate must be completed and submitted along with the application form. This is most usually Certificate A, Form 1, Certificate B, Certificate C or Certificate E.

Are you/the applicant the sole owner of ALL the land? *

Yes No

Is any of the land part of an agricultural holding? *

Yes No

Certificate Required

The following Land Ownership Certificate is required to complete this section of the proposal:

Certificate A

Land Ownership Certificate

Certificate and Notice under Regulation 15 of the Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Certificate A

I hereby certify that –

(1) - No person other than myself/the applicant was an owner (Any person who, in respect of any part of the land, is the owner or is the lessee under a lease thereof of which not less than 7 years remain unexpired.) of any part of the land to which the application relates at the beginning of the period of 21 days ending with the date of the accompanying application.

(2) - None of the land to which the application relates constitutes or forms part of an agricultural holding

Signed: Jamie Reid

On behalf of: Mr Graham Glen

Date: 26/08/2025

Please tick here to certify this Certificate. *

Checklist – Application for Planning Permission

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

Please take a few moments to complete the following checklist in order to ensure that you have provided all the necessary information in support of your application. Failure to submit sufficient information with your application may result in your application being deemed invalid. The planning authority will not start processing your application until it is valid.

a) If this is a further application where there is a variation of conditions attached to a previous consent, have you provided a statement to that effect? *

Yes No Not applicable to this application

b) If this is an application for planning permission or planning permission in principle where there is a crown interest in the land, have you provided a statement to that effect? *

Yes No Not applicable to this application

c) If this is an application for planning permission, planning permission in principle or a further application and the application is for development belonging to the categories of national or major development (other than one under Section 42 of the planning Act), have you provided a Pre-Application Consultation Report? *

Yes No Not applicable to this application

Town and Country Planning (Scotland) Act 1997

The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013

d) If this is an application for planning permission and the application relates to development belonging to the categories of national or major developments and you do not benefit from exemption under Regulation 13 of The Town and Country Planning (Development Management Procedure) (Scotland) Regulations 2013, have you provided a Design and Access Statement? *

Yes No Not applicable to this application

e) If this is an application for planning permission and relates to development belonging to the category of local developments (subject to regulation 13. (2) and (3) of the Development Management Procedure (Scotland) Regulations 2013) have you provided a Design Statement? *

Yes No Not applicable to this application

f) If your application relates to installation of an antenna to be employed in an electronic communication network, have you provided an ICNIRP Declaration? *

Yes No Not applicable to this application

g) If this is an application for planning permission, planning permission in principle, an application for approval of matters specified in conditions or an application for mineral development, have you provided any other plans or drawings as necessary:

- Site Layout Plan or Block plan.
- Elevations.
- Floor plans.
- Cross sections.
- Roof plan.
- Master Plan/Framework Plan.
- Landscape plan.
- Photographs and/or photomontages.
- Other.

If Other, please specify: * (Max 500 characters)

swept path analysis plans

Provide copies of the following documents if applicable:

- | | |
|--|--|
| A copy of an Environmental Statement. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Design Statement or Design and Access Statement. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Flood Risk Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Drainage Impact Assessment (including proposals for Sustainable Drainage Systems). * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Drainage/SUDS layout. * | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> N/A |
| A Transport Assessment or Travel Plan | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Contaminated Land Assessment. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| Habitat Survey. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |
| A Processing Agreement. * | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A |

Other Statements (please specify). (Max 500 characters)

Tree survey report

Declare – For Application to Planning Authority

I, the applicant/agent certify that this is an application to the planning authority as described in this form. The accompanying Plans/drawings and additional information are provided as a part of this application.

Declaration Name: Mr Jamie Reid

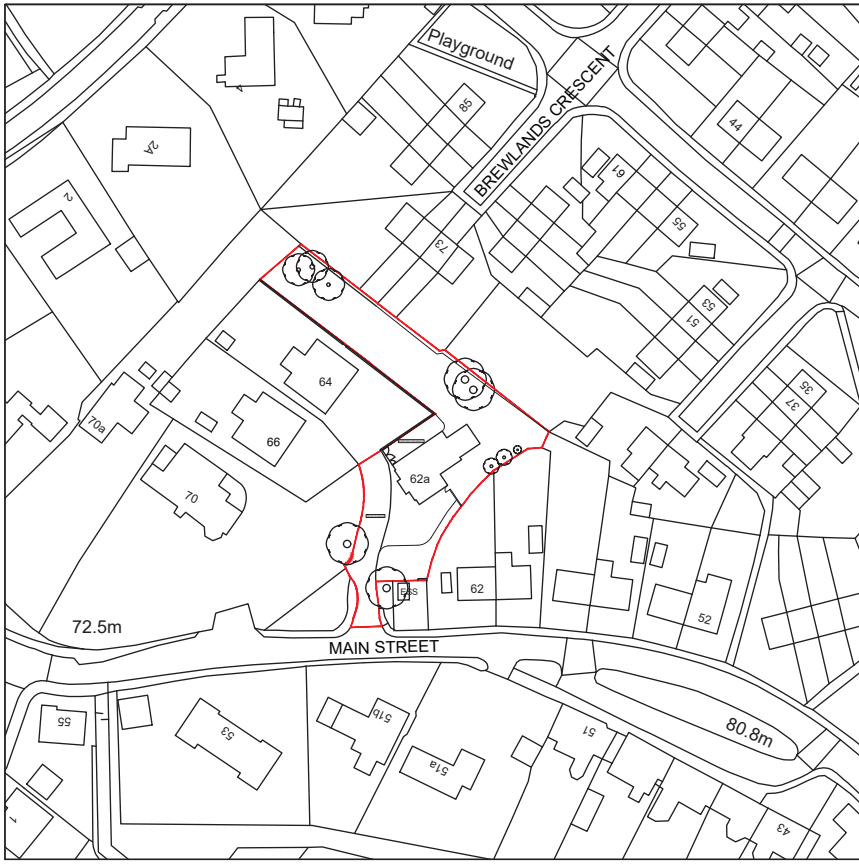
Declaration Date: 26/08/2025

Fee Exemption Reason

This is a revision to a previous application where the fee has already been paid

Previous planning application 24/00867/APP was withdrawn for a 'second free attempt' within 12 months.

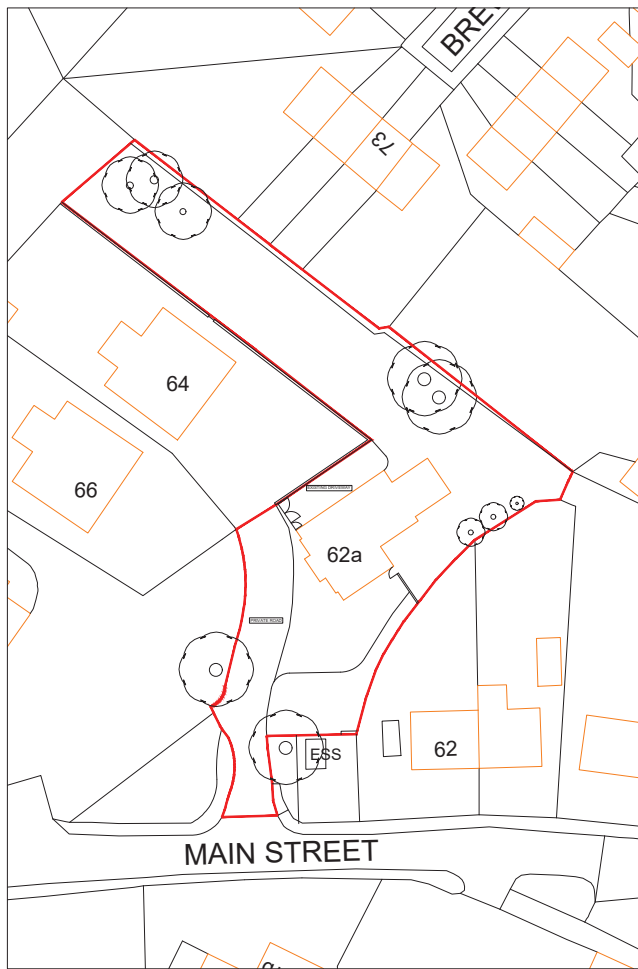
This drawing is made for the purpose of advising planning/ building control agencies. The drawing may be subject to amendments and is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose. It is not to be used for any other purpose.



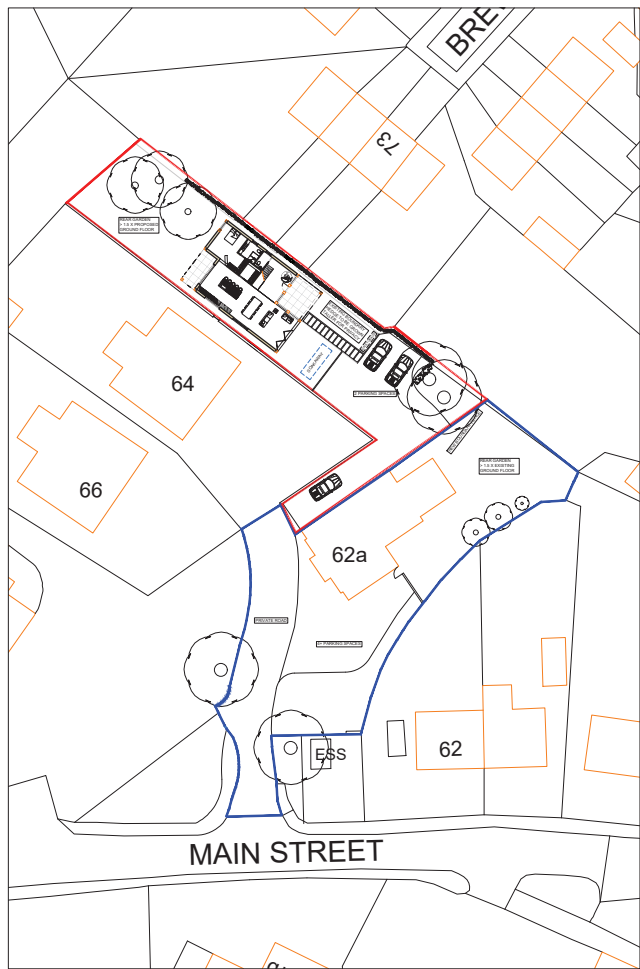
LOCATION PLAN
SCALE 1/1250



Elected Architecture Studio 2 Drummond Park 4th Floor South Brisbane QLD 4101 www.elected.com.au		
PLANNING		
Mr. Graham Glen		
Proposed Dwelling House		
62A Main Street Symington KAI 50G		
Location Plan		
23.016.01	23.016.01	A4



SITE PLAN
SCALE 1/500



SITE PLAN
SCALE 1/500

This drawing is made for the purposes of providing general information only. It is not intended to be used for any other purpose. The client is responsible for ensuring that the information provided is accurate and complete. No liability will be accepted for any errors or omissions in the drawing or for any consequences arising therefrom.

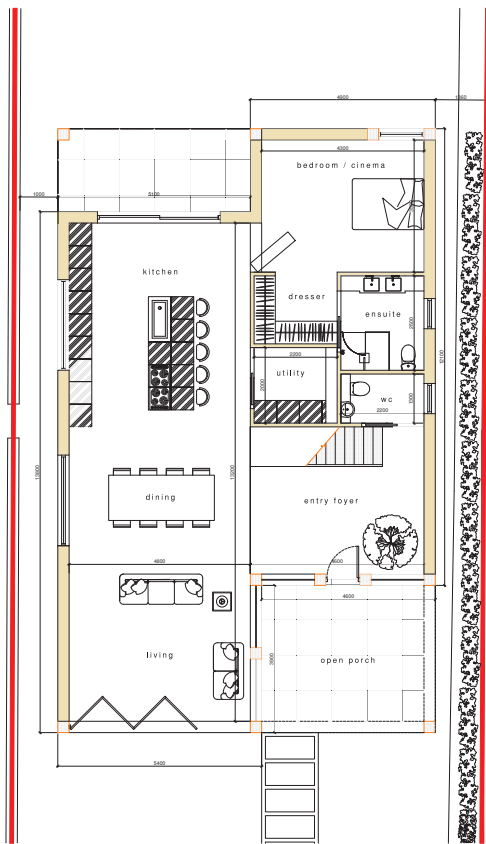
Please do not scale from this drawing. If in doubt, ask. This drawing is the property of the client and is not to be reproduced, copied or distributed in any form, other than for the purposes of this project.

LEGEND KEY	
	APPLICATION SITE BOUNDARY
	ALL OTHER LAND IN OWNERSHIP

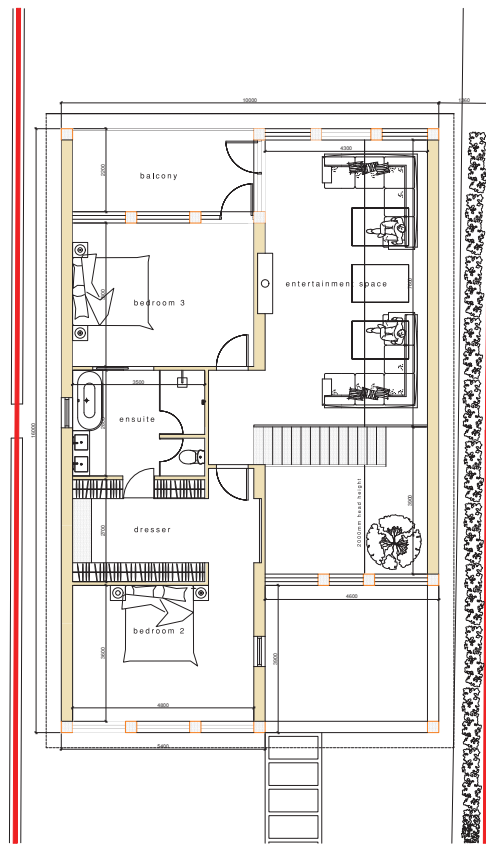
Client: Mr. Graham Glen
Project: Proposed Dwelling House
Date: 23.01.2023



PLANNING	
Client:	Mr. Graham Glen
Project:	Proposed Dwelling House
Location:	62A Main Street Symington KAT 5QG
Existing and Proposed Site Plans	
Scale:	1:500
Sheet:	A3
Project No:	23.016.02
Version:	c



GROUND FLOOR PLAN
SCALE 1:50



FIRST FLOOR PLAN
SCALE 1:50

The drawings are for the purpose of obtaining planning building control approval. The drawings are not to be used for construction purposes. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are not to be used for any other purpose without the written consent of the architect.

Please do not scale from this drawing. If in doubt, ask. The drawings are the property of the architect and shall not be reproduced, copied or disclosed in any form, other than for the purpose of the project.

DATE	23.10.23	BY	AK
REVISION	01	DATE	23.10.23
REVISION	02	DATE	23.10.23
REVISION	03	DATE	23.10.23

Exact Architecture Studio

2 Blandford Park
Ayr
Glen Ayr
KA7 4JZ
www.exact.co.uk

PLANNING

Mr. Graham Gen

Proposed Dwelling House

82A Main Street
Symington
KA1 5QG

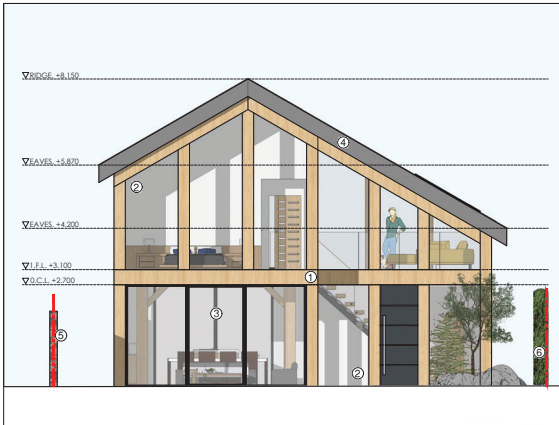
Floor Plans as Proposed

NO.	DATE	BY	CHKD	APP.
01	23.10.23	AK	AK	AK

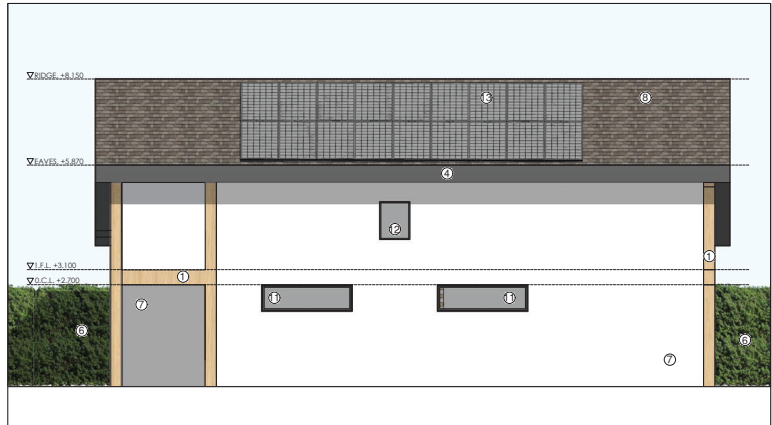
23.016.04

c

The drawings are for the purpose of obtaining planning building control approval. The drawings are not to be used for construction purposes. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are not to be used for any other purpose without the written consent of the architect.



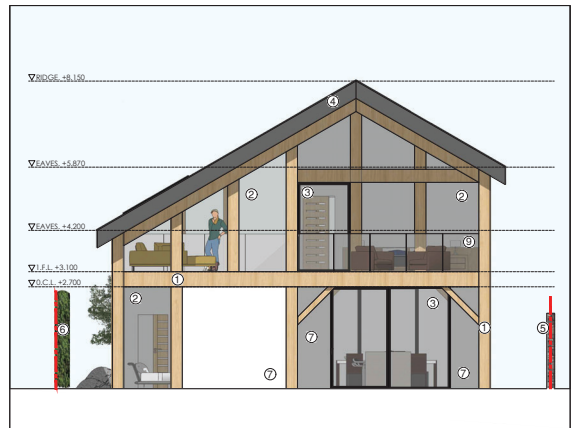
FRONT ELEVATION (SOUTH-EAST)
SCALE 1:100



SIDE ELEVATION (SOUTH-WEST)
SCALE 1:100



REAR ELEVATION (NORTH-EAST)
SCALE 1:100



REAR ELEVATION (NORTH-WEST)
SCALE 1:100

material schedule

- ① oak framing
- ② recessed glazing
- ③ black/anthracite aluminum doors
- ④ dark grey fascia board
- ⑤ existing boundary stone wall
- ⑥ existing boundary hedge enlarged
- ⑦ white render
- ⑧ dark grey natural roof slate
- ⑨ glass railing
- ⑩ black skylights
- ⑪ high level dark grey aluminum windows
- ⑫ dark grey aluminum window with opaque glass
- ⑬ solar panels

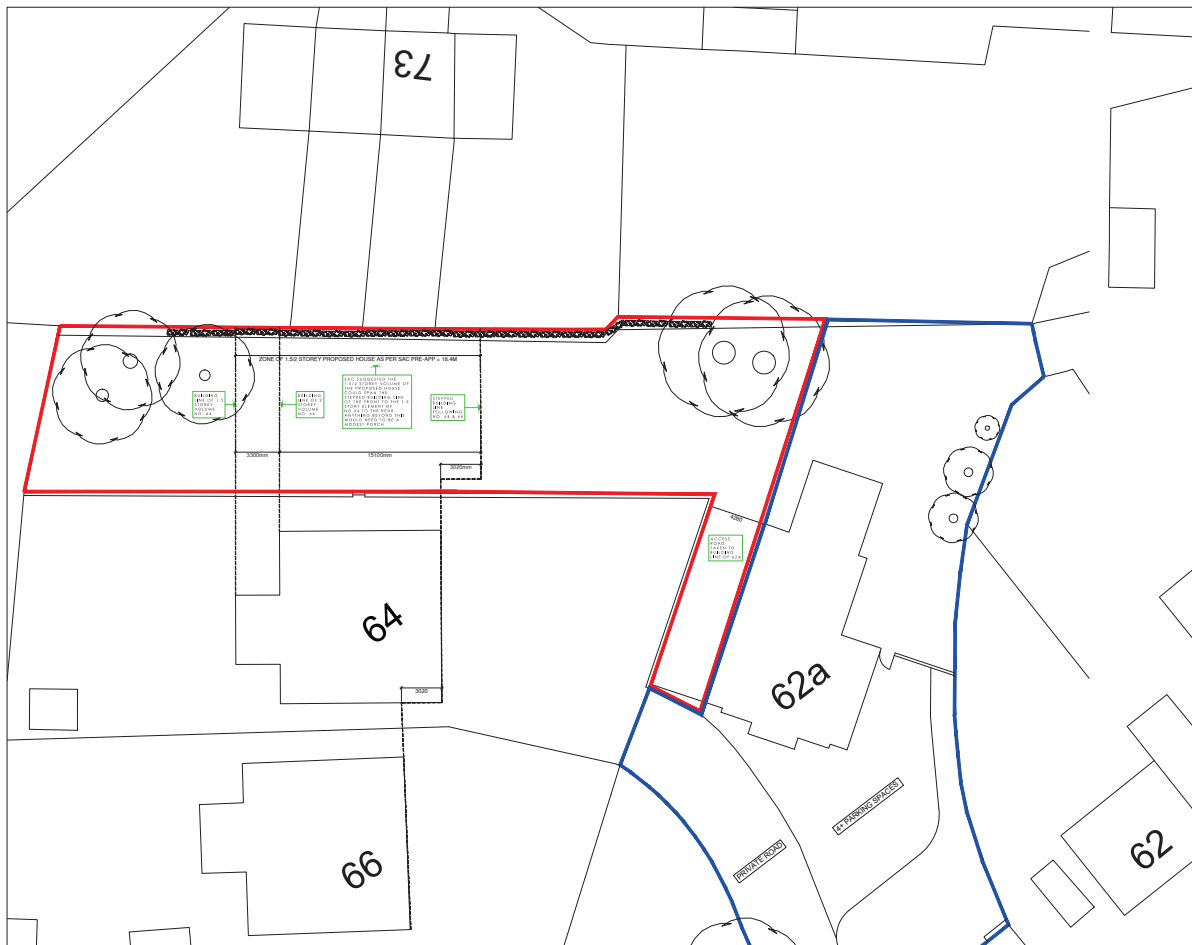
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D	10/10/20	23.01.20	JK
E	10/10/20	23.01.20	JK
F	10/10/20	23.01.20	JK



PLANNING	
Client:	Mr. Graham Gen
Project:	Proposed Dwelling House
Address:	52A Main Street Syrington KA1 5QG
Scale:	Elevations as Proposed
Sheet:	A1
Price:	23,016.05

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SITE PLAN
SCALE 1/200

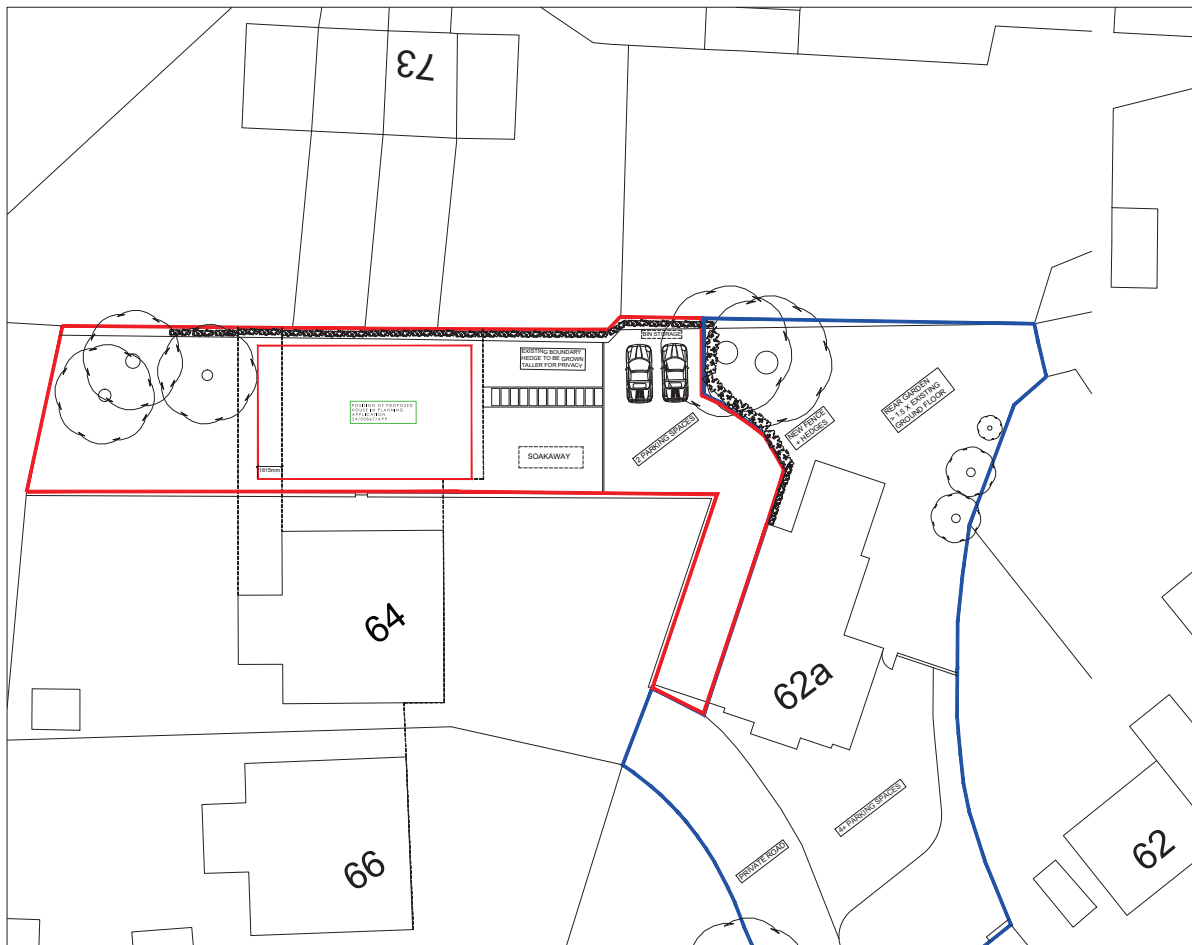
LEGEND KEY

	APPLICATION SITE BOUNDARY
	ALL OTHER LAND IN OWNERSHIP

01/01/2010 07:00:24

Elksted Architecture Studio
 3 Broadwood Park
 Apt
 South Brisbane
 Post Code: 4101
 Tel: 07 3851 2000
 www.elksted.com

PLANNING	
Mr. Graham Glen	
Proposed Dwelling House	
62A Main Street Symington KAI 50G	
Existing Site Plan with Building Lines	
Scale	A2
Drawn by	23.016.10



SITE PLAN
SCALE 1/200



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LEGEND KEY

	APPLICATION SITE BOUNDARY
	ALL OTHER LAND IN OWNERSHIP

01/06/23

Elkwood Architecture Studio

3 Brounwood Park
Apt
South Brisbane
Brisbane
www.elkwood.com

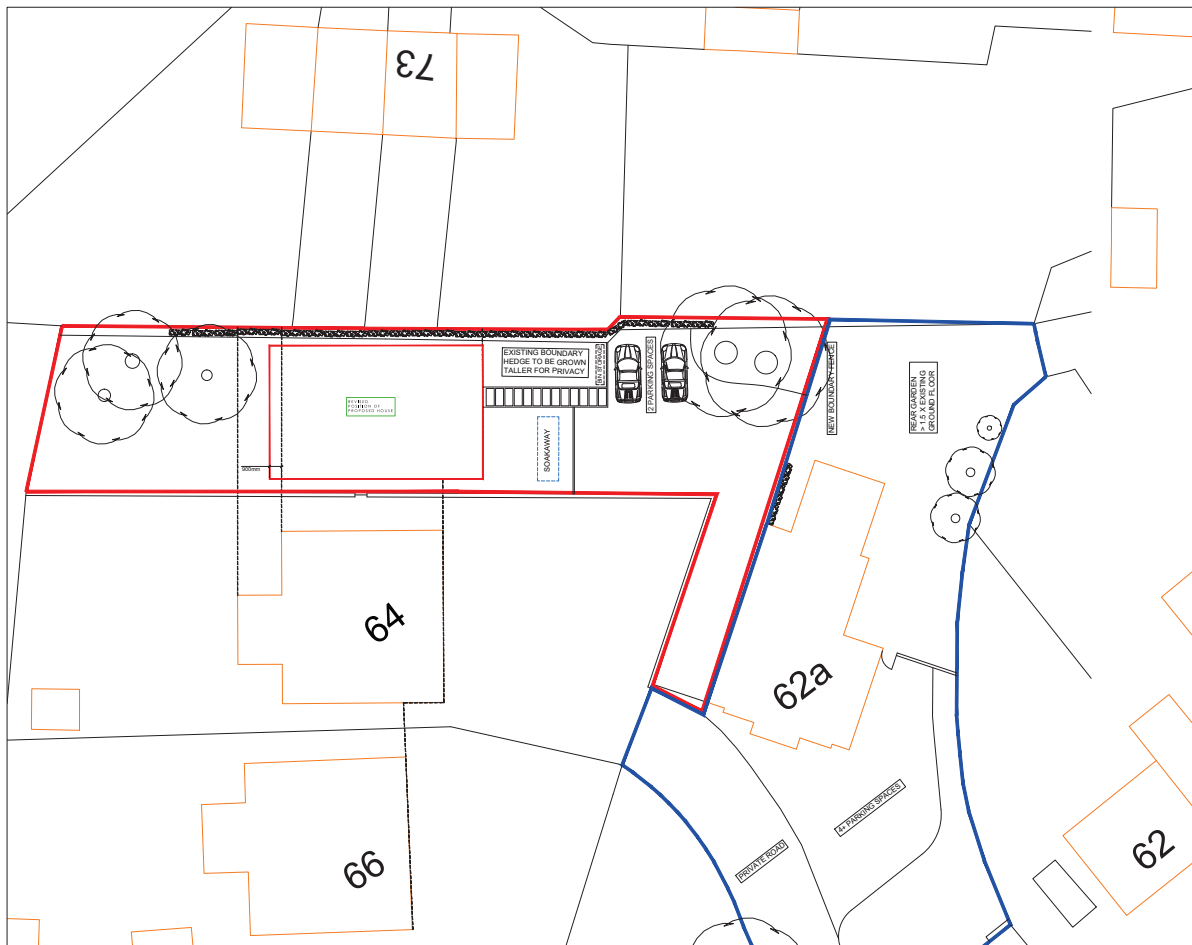
PLANNING

Mr. Graham Glen

Proposed Dwelling House

62A Main Street
Symington
KAI 50G

Site Plan with Building Lines Planning App 24/00867/APP	
Scale	A2
Drawn by	AP
23.016.11	



SITE PLAN
SCALE 1/200



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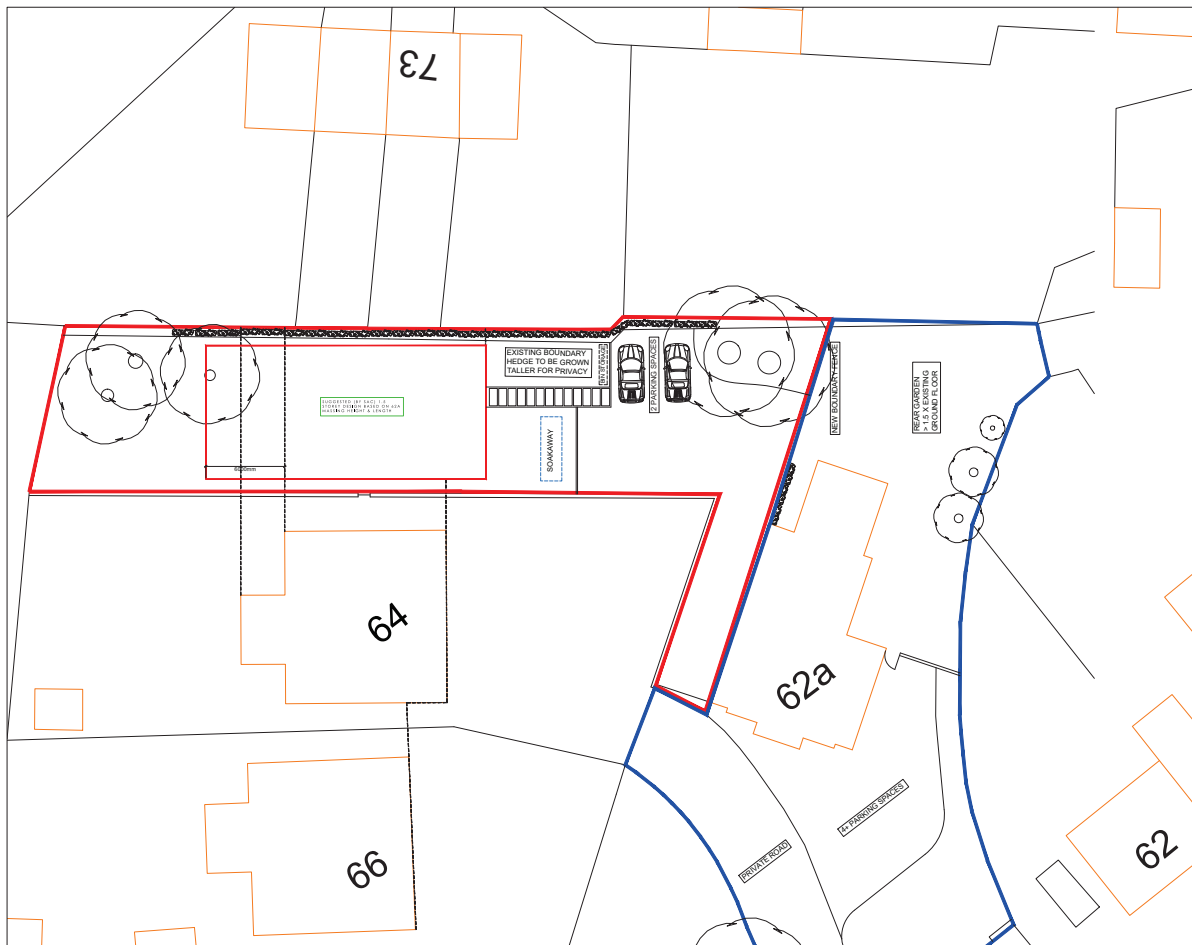
LEGEND KEY

	APPLICATION SITE BOUNDARY
	ALL OTHER LAND IN OWNERSHIP

01/01/2012 07:00:23

Elwood Architecture Studio
3 Broadwood Park
Apt
South Brisbane
Brisbane
www.elwood.com

PLANNING	
Client:	Mr. Graham Glen
Project:	Proposed Dwelling House
Address:	62A Main Street Symington KAI 5GG
Site Name:	Site Plan with Building Lines Revised Site Layout - 1.5 Storey
Scale:	1:200
Drawn by:	AK
Checked by:	AK
Date:	23.01.12



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LEGEND KEY

	APPLICATION SITE BOUNDARY
	ALL OTHER LAND IN OWNERSHIP

SITE PLAN
SCALE 1/200



01/01/2013 07:00:23

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3 Broadwood Park
Apt
South Brisbane
Brisbane
www.ekidest.com

PLANNING

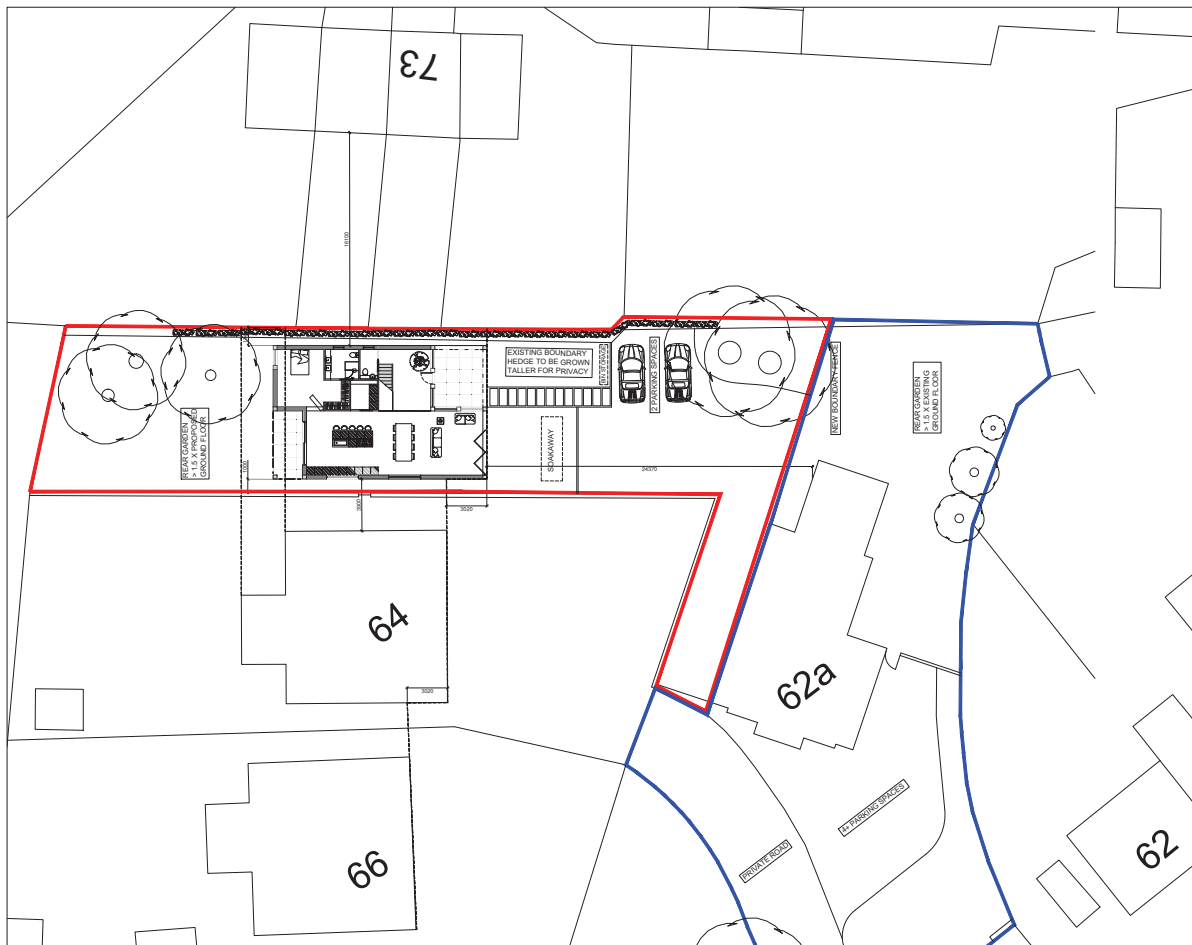
Mr. Graham Glen

Proposed Dwelling House

62A Main Street
Syrington
KA1 5GG

Site Plan with Building Lines
Revised Site Layout - Bungalow

Scale	1:200	Sheet	A2
Drawn by	AK	Checked by	AK
23.016.13			



SITE PLAN
SCALE 1/200



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LEGEND KEY

	APPLICATION SITE BOUNDARY
	ALL OTHER LAND IN OWNERSHIP

01/06/23

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 3 Broadwood Park
 Apt
 South Ayrshire
 KA1 5GG
 www.ekloot.com



PLANNING

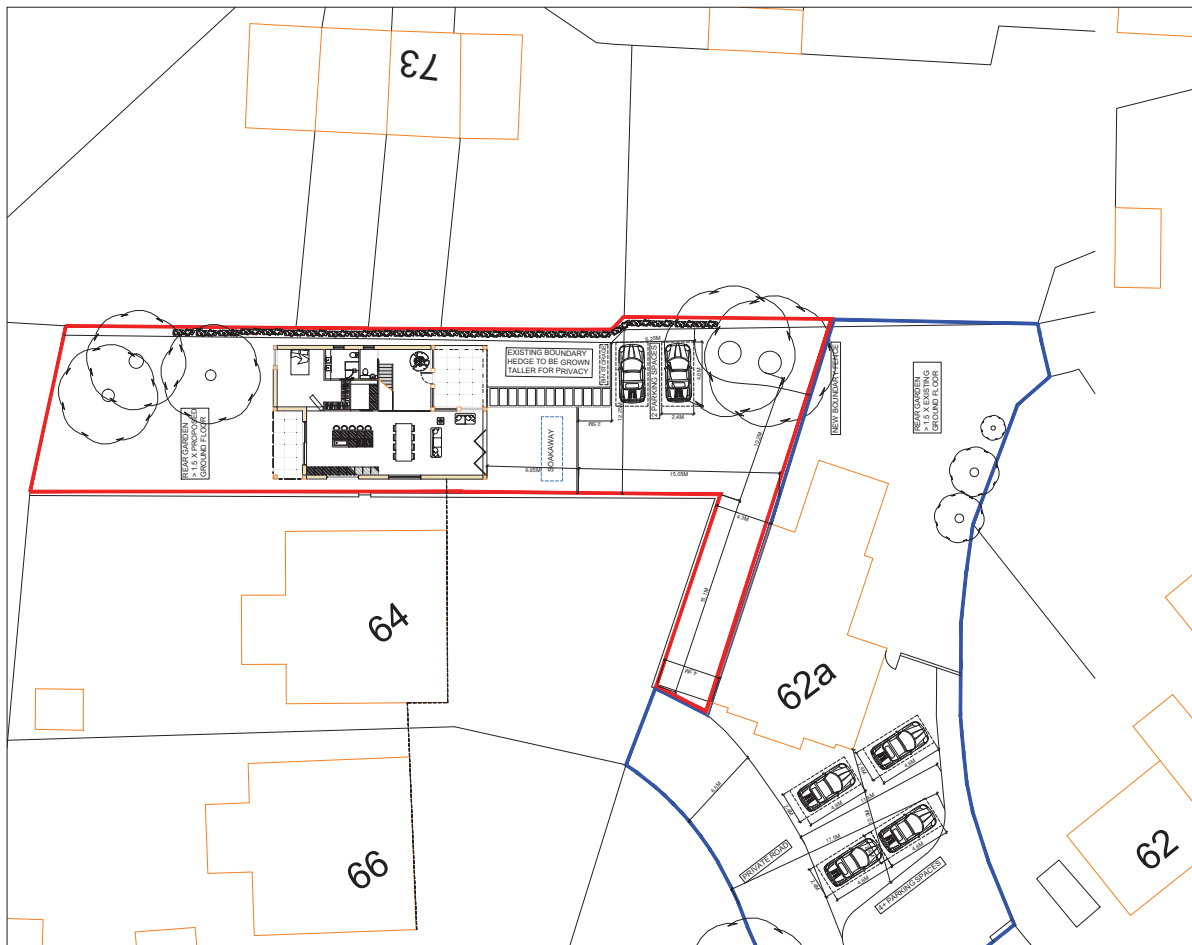
Mr. Graham Glen

Proposed Dwelling House

62A Main Street
 Symington
 KA1 5GG

Proposed Site Plan
 Distance to Surrounding Context

Distance	From	To	Distance
23.016.14			



SITE PLAN
SCALE 1/200



LEGEND KEY	
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	ALL OTHER LAND IN OWNERSHIP

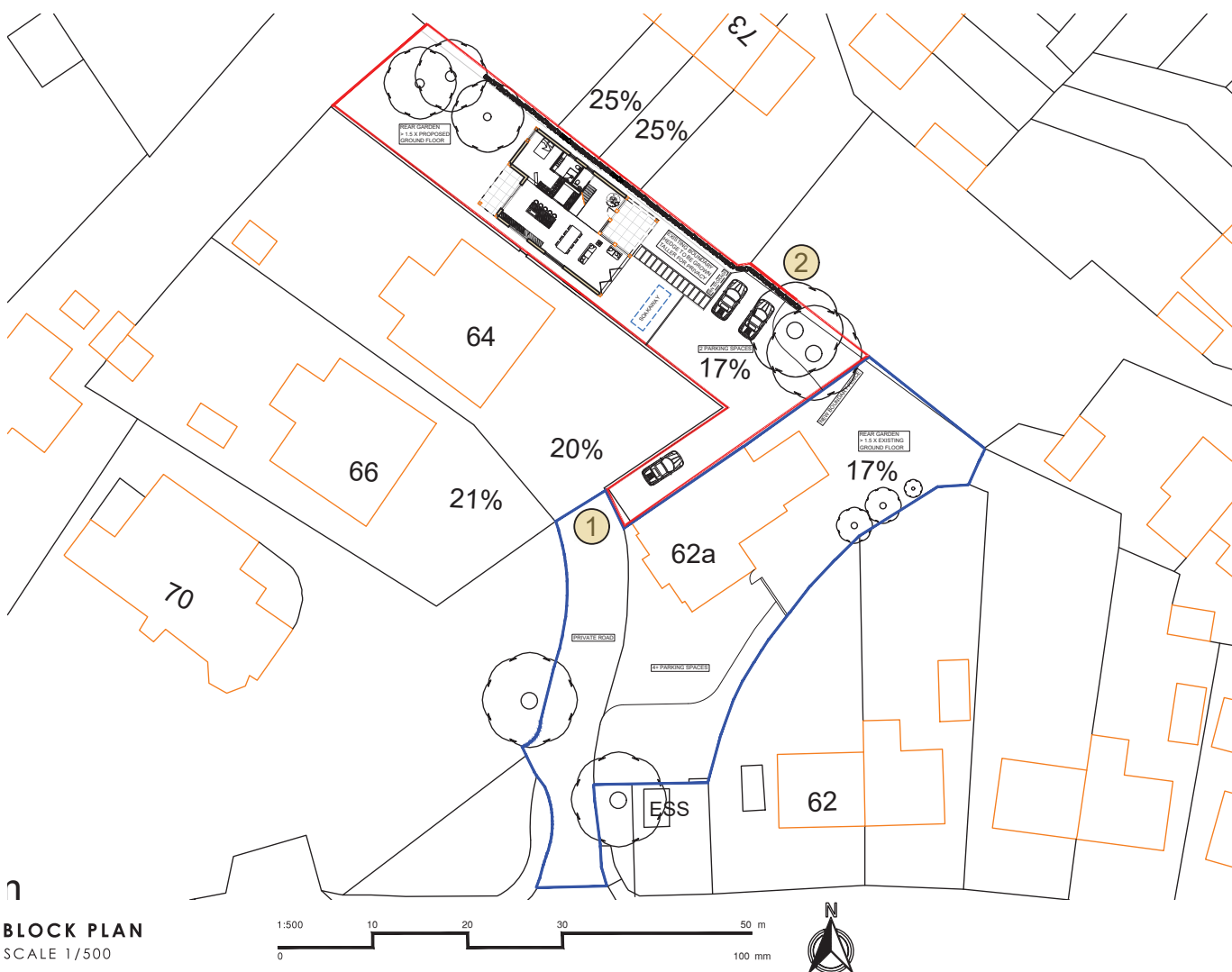
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01/03/23

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3 Brounwood Park
Apf
South Australia
www.ekloot.com

PLANNING	
Client	Mr. Graham Glen
Project	Proposed Dwelling House
Address	62A Main Street Symington KA1 5GG
Drawing Title	Proposed Site Plan Access + Parking Dimensions
Scale	1:200
Sheet No.	A2
Date	23.016.15



BLOCK PLAN
SCALE 1/500

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LEGEND KEY

% OF PLOT TAKEN UP BY HOUSE

EMERGENCY FIRE FIGHTING ACCESS POINTS WITHOUT THE NEED FOR TURNING WITHIN REDLINE SITE:

1 - POINT 1 - SITE ENTRANCE = 32M TO FRONT DOOR / 44M TO FURTHEST POINT OF HOUSE

2 - POINT 2 - POINT 3 - COUNCIL CARPARK = 15M TO FRONT DOOR / 27M TO FURTHEST POINT OF HOUSE

1:10:11
23.04.20

Edinect Architecture Studio
2 Drummond Park
AIP
South Australia
5007 Adelaide
www.edinect.com

PLANNING

Mr. Graham Glen

Proposed Dwelling House

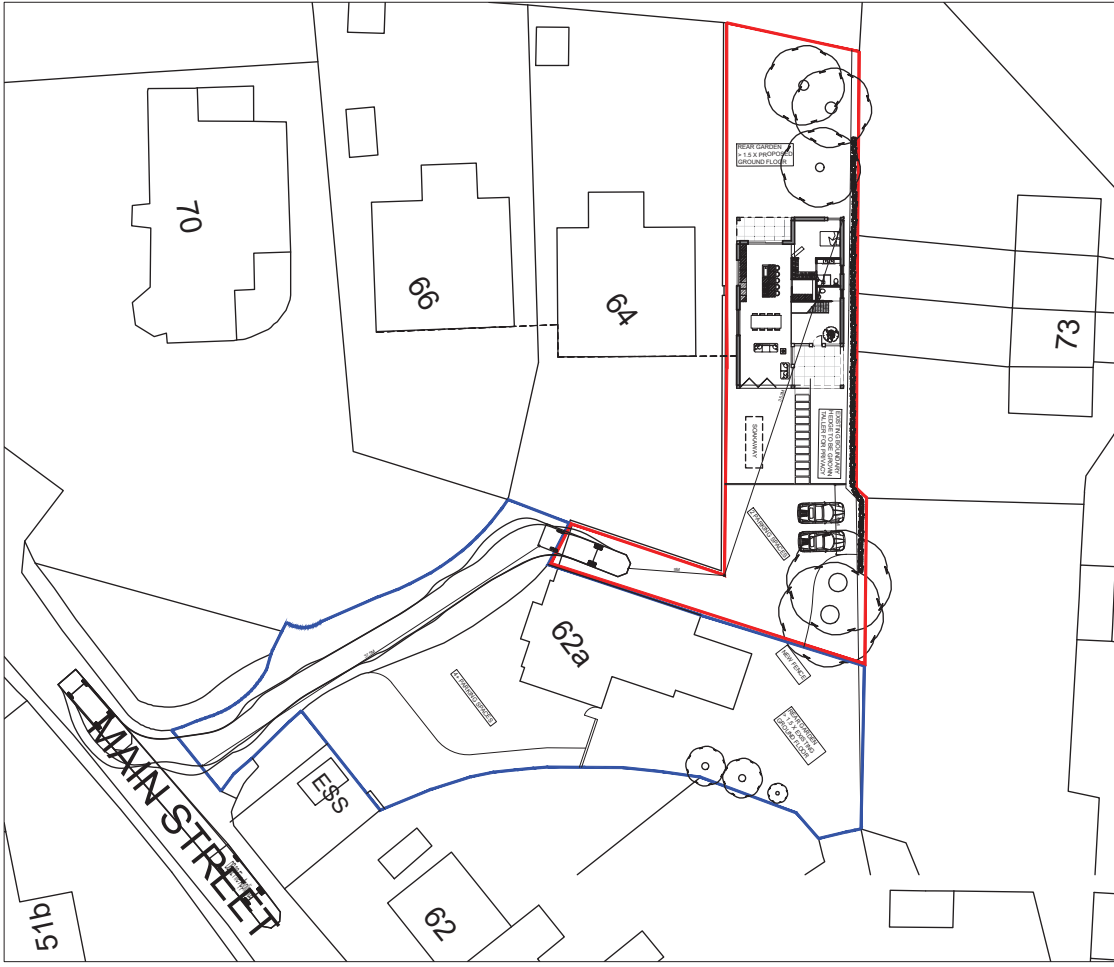
62A Main Street
Syringham
KAT SOG

Block plan - context of fire fighting access and plot details

DATE	1:10:11	SCALE	1:500	PROJECT	23.016.20
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BLOCK PLAN
SCALE 1/500

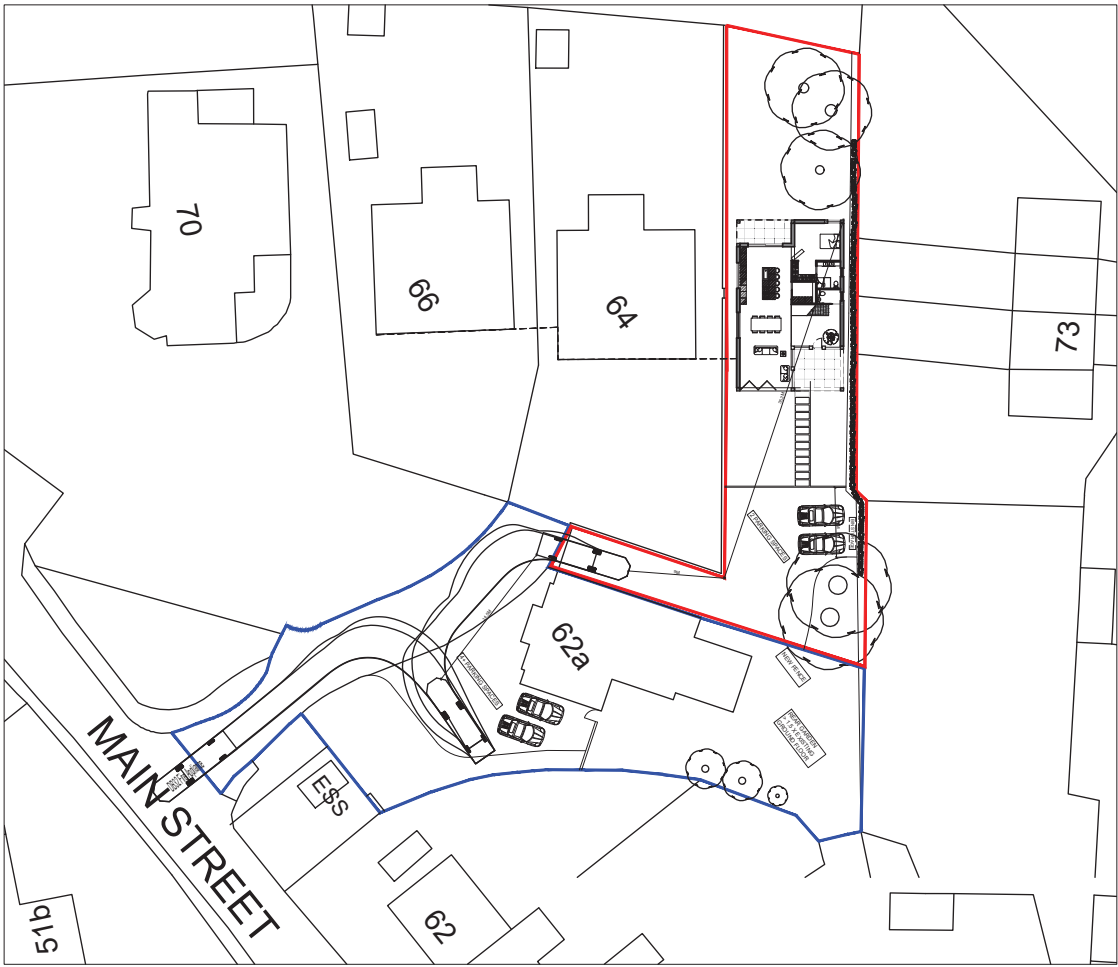


W11 K111 01.08.21 11

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2 Southwood Park
AIP
South Australia
5022 ADE
www.edsted.com



PLANNING	
Mr. Graham Glen	
Proposed Dwelling House	
62A Main Street Symington KAT 50G	
Block Plan - Sweep Path Analysis 1 Reversing from Main Street	
DATE	A4
23.016.21	-



BLOCK PLAN
SCALE 1/500



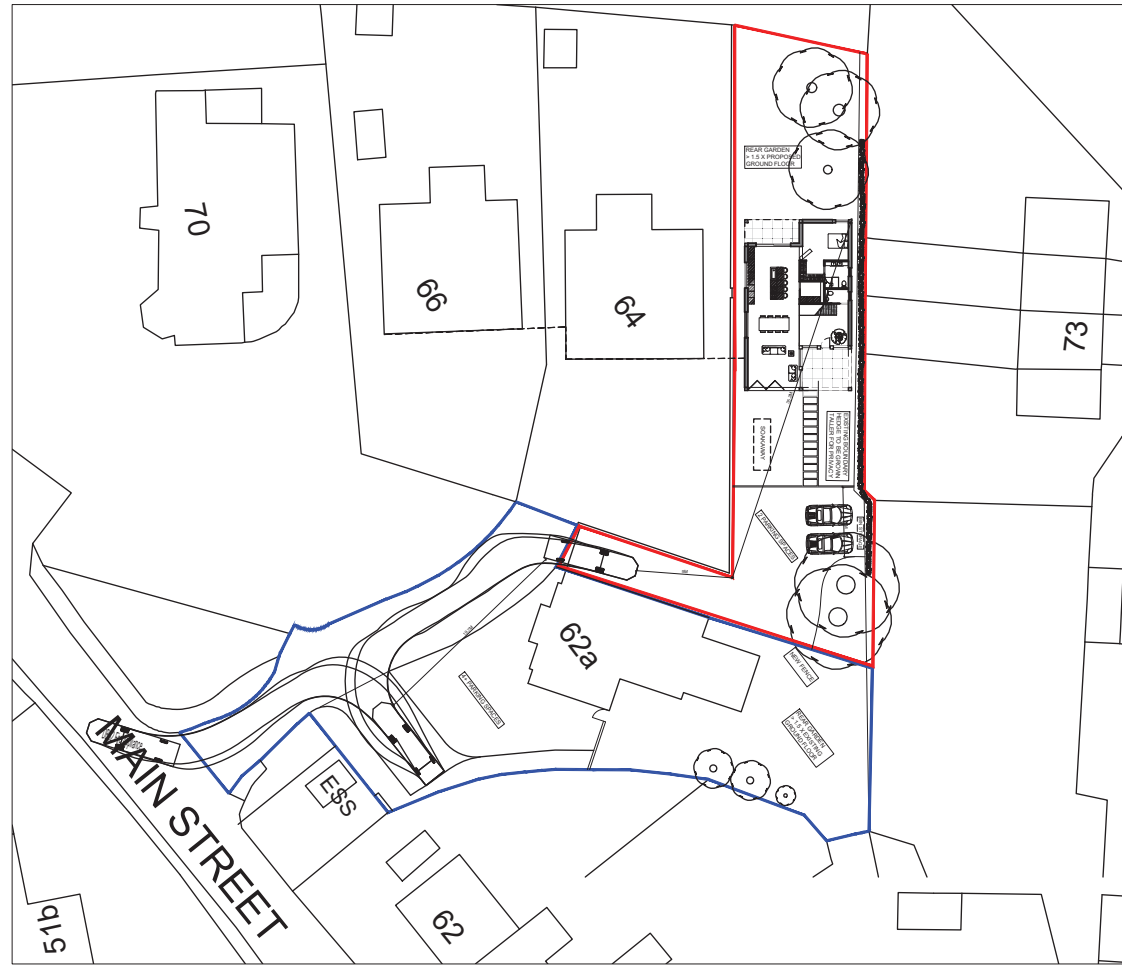
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 Elected Architecture Studio
 2 Southwood Park
 4th
 South Brisbane
 QLD 4101
 www.elected.com



PLANNING	
Mr. Graham Glen	
Proposed Dwelling House	
62A Main Street Symington KAT 50G	
Block Plan - Swept Path Analysis 2 Reversing from Ebor 62A Driveway	
DATE	23.016.22
SCALE	1/500
PROJECT	23.016.22



BLOCK PLAN
SCALE 1/500



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W11 K111 01.08.23 11

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2 St Andrew Park
A17
Southampton
SO2 0AE
www.edwick.com



PLANNING

Mr. Graham Glen

Proposed Dwelling House

62A Main Street
Symington
KA1 5DG

Block Plan - Swept Path Analysis 3
Reversing from New Hammethead

23.016.23

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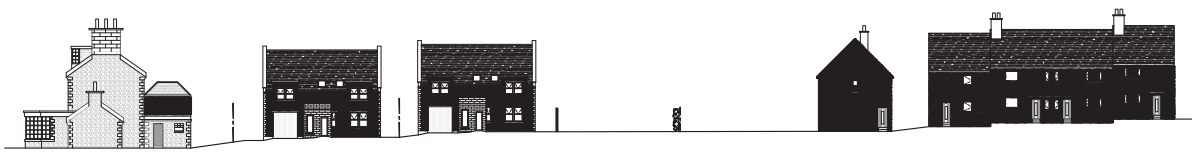
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SITE SECTION - ALTERNATIVE BUNGALOW DESIGN
SCALE 1/200



SITE SECTION - PROPOSED DESIGN
SCALE 1/200



SITE SECTION - EXISTING
SCALE 1/200

10/11/2024 11:08:24

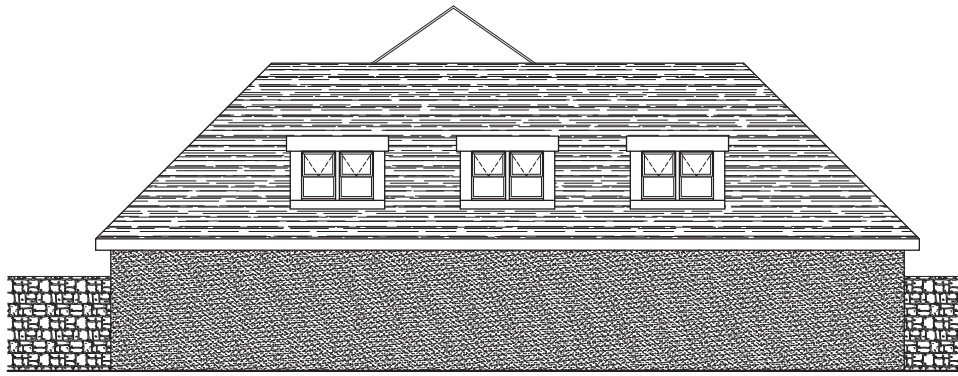
Elected Architecture Studio
2 Elmwood Park
Ayr
Glen Ayr
G47 9JZ
www.elected.co.uk



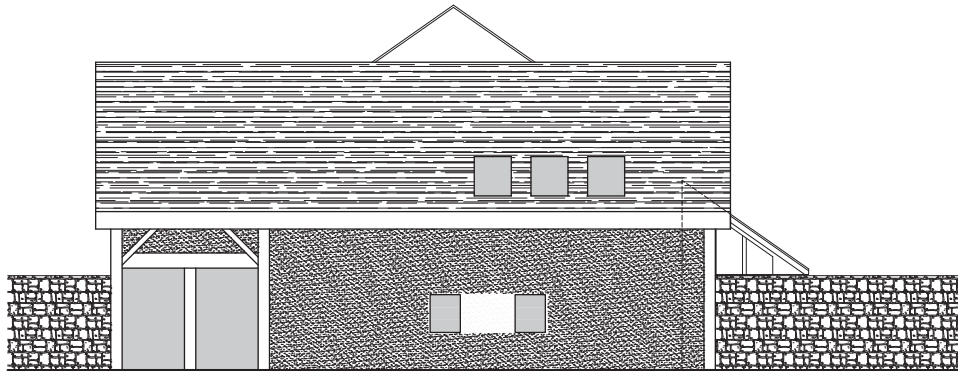
PLANNING	
Mr. Graham Glen	
Proposed Dwelling House	
82A Main Street Symington KA1 5QG	
Street Elevations	
DATE	A1
23.016.31	

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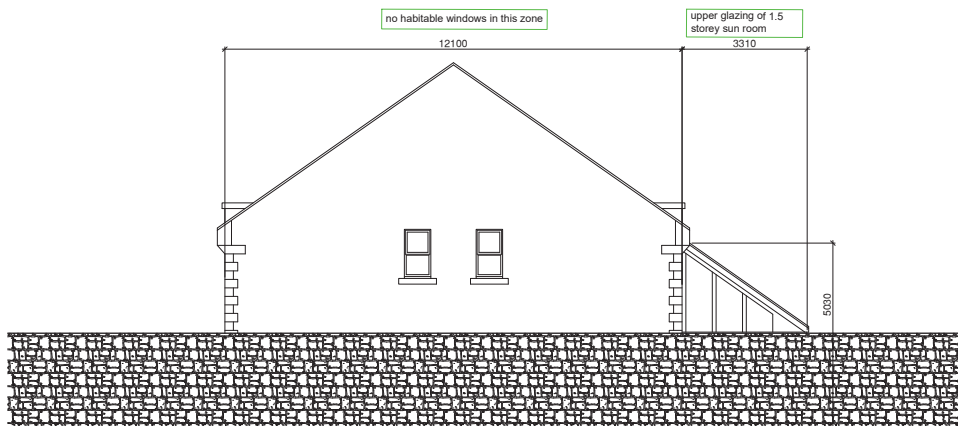
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ELEVATION TOWARDS NO. 64 MAIN STREET - ALTERNATIVE BUNGALOW DESIGN
SCALE 1/100



ELEVATION TOWARDS NO. 64 MAIN STREET - PROPOSED DESIGN
SCALE 1/100



ELEVATION TOWARDS NO. 64 MAIN STREET - EXISTING
SCALE 1/100



FIRST ISSUE 01.08.25 JR

Ekitect Architecture Studio
5 Broadwood Park
Ayr
South Ayrshire
KA7 4XE
w: www.ekitect.com

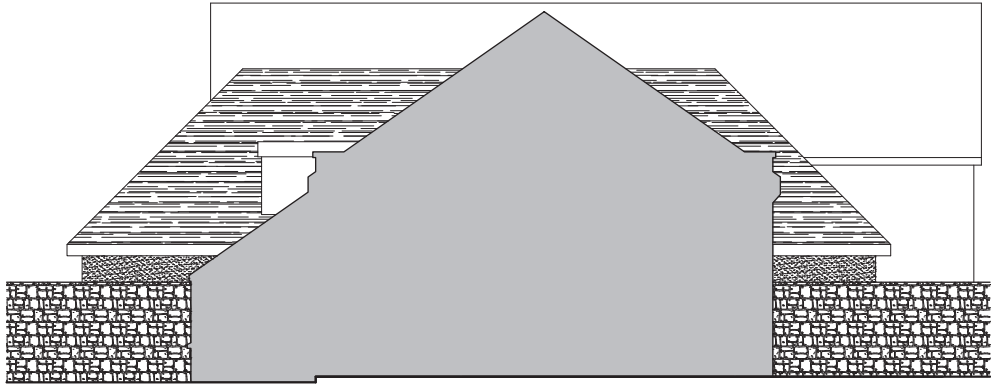


PLANNING

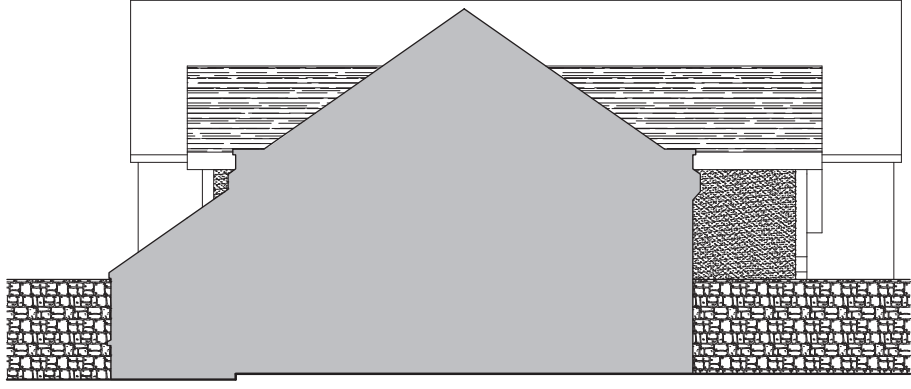
Client		Mr. Graham Glen	
Project		Proposed Dwelling House	
Address		62A Main Street Symington KA1 5QG	
Drawing Title		Elevation towards no.64 Main Street	
Date	Scale	Client	A2
01.08.2025	1:100	JR	
Drawing No.	Rev		
23.016.32	-		

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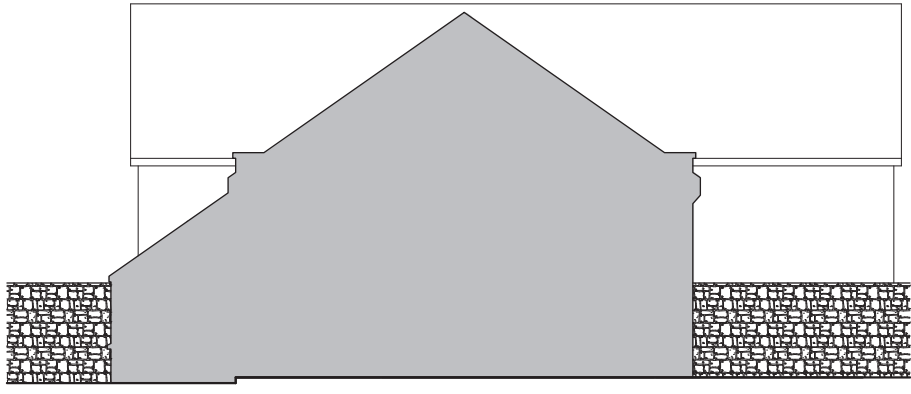
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ELEVATION/SECTION VIEW FROM NO. 64 MAIN STREET - ALTERNATIVE BUNGALOW DESIGN
SCALE 1/100



ELEVATION/SECTION VIEW FROM NO. 64 MAIN STREET - PROPOSED DESIGN
SCALE 1/100



ELEVATION/SECTION VIEW FROM NO. 64 MAIN STREET - EXISTING
SCALE 1/100



FIRST ISSUE 01.08.25 JR

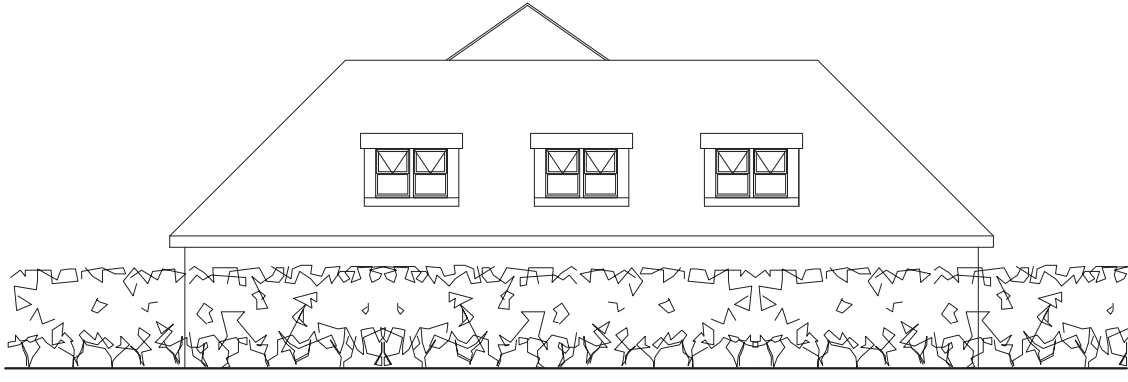
Ektolect Architecture Studio
5 Broadwood Park
Ayr
South Ayrshire
KA7 4XE
w: www.ektolect.com



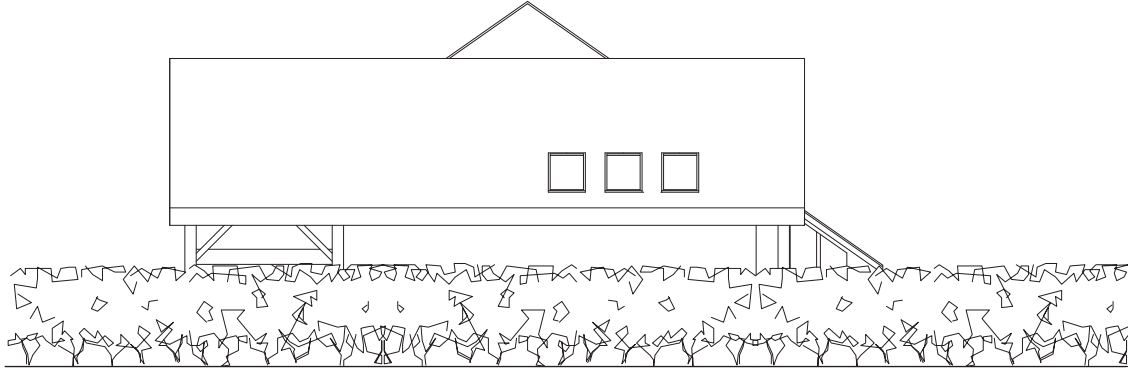
PLANNING			
Client			
Mr. Graham Glen			
Project			
Proposed Dwelling House			
Address			
62A Main Street Symington KA1 5QG			
Drawing Title			
Elevation/section view from no.64 Main Street			
Date	Scale	Client	A2
01.08.2025	1:100	JR	
Drawing No.			Rev
23.016.33			-

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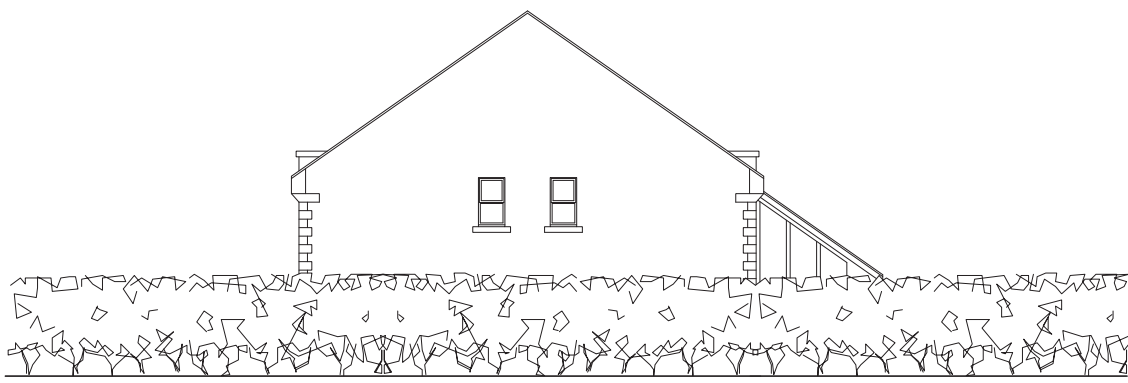
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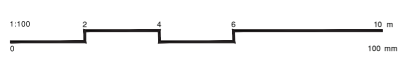
ELEVATION VIEW FROM BREWLANDS CRESCENT - ALTERNATIVE BUNGALOW DESIGN
SCALE 1/100



ELEVATION VIEW FROM BREWLANDS CRESCENT - PROPOSED DESIGN
SCALE 1/100



ELEVATION VIEW FROM BREWLANDS CRESCENT - EXISTING
SCALE 1/100



• FIRST ISSUE 01.08.25 JR

Ekotect Architecture Studio
5 Broadwood Park
Ayr
South Ayrshire
KA7 4XE
w: www.ekotect.com



PLANNING			
Client			
Mr. Graham Glen			
Project			
Proposed Dwelling House			
Address			
62A Main Street Symington KA1 5QG			
Drawing Title			
Elevation view from Brewlands Crescent			
Date	Scale	Client	A2
01.08.2025	1:100	JR	
Drawing No.			Rev
23.016.34			-



CONTENTS

INTRODUCTION

LOCATION

SITE APPRAISAL

IMMEDIATE CONTEXT

DESIGN PRINCIPLES

DESIGN



EKOTECT

DESIGN & ACCESS STATEMENT | 62A MAIN STREET, SYMINGTON

INTRODUCTION

This Design and Access Statement has been produced on behalf of the owner-client in support of a detailed planning application for the erection of a new dwelling house to the rear garden ground at 62A Main Street in Symington.

Planning Permission in Principle (23/00683/PPP) was granted on 12th June 2024 for the proposal.

A Planning Application (24/00867/APP) was withdrawn on January 2025 due to planning conditions not being adhered to and new comments made by Ayrshire Roads Alliance regarding emergency vehicular access (which have now been addressed).

Our proposals have been developed in line with the Local Development Plan and Supplementary Guidance. This document should also be read in conjunction with the planning submission drawings.

LOCATION

The site is located on a private cul-de-sac off the Main Street in Symington, South Ayrshire. 62A Main Street is an L-shaped plot which forms part of a housing cluster.

The rear garden kinks off at a 90 degree turn, sandwiched between the adjacent property plot at 64 Main Street and the terrace houses of Brewlands Crescent.

It is this 'gap' site that we intend to develop.



SITE APPRAISAL

The proposed house would be out of sight, with very few properties being able to see it. Only the occupants at 71-77 Brewlands Crescent, 64 Main Street and 62A Main Street itself would see the house. In all cases the impact would be minimal these properties will only see part of the new dwelling, due to orientation and existing and proposed boundary treatment.

The proposal would not have any overlooking or overshadowing impacts to any of these identified properties. Distances to adjacent properties have been provided on the architectural drawings which supplement this document.



IMMEDIATE CONTEXT

ARCHITECTURAL LANGUAGE

The site lies within Troon's conservation area, however the property is not listed and the immediate surrounding context varies widely, this includes;

1 & 1.5 storey classical style cottages - detached/semi-detached/terrace

1 storey bungalows

2 storey council house style - flats/terrace

1.5 & 2 storey houses - detached, semi-detached and terrace

1.5, 2 & 2.5 storey villas

LOCAL MATERIALITY

Incidentally, the material palette and characteristics of surrounding houses also varies widely, including; stone, render, timber, brick, slate, tiles and metal sheeting.



1 STOREY DETACHED COTTAGE



1 STOREY TERRACED COTTAGES



1 STOREY BUNGALOW



1 STOREY BUNGALOW



1 STOREY BUNGALOW



1.5 STOREY DETACHED COTTAGE



1.5 STOREY SEMI-DETACHED HOUSES



1.5 STOREY VILLA



1.5/2 STOREY VILLA



1.75 STOREY VILLA



2 STOREY HOUSE



2 STOREY TERRACE HOUSES



2 STOREY FLATS



2 STOREY HOUSE



2 STOREY TERRACE HOUSES



2 STOREY MODERN HOUSE



2.5 STOREY VILLA



2.5 STOREY VILLA

DESIGN PRINCIPLES

CLIENT AMBITION AND DESIGN INTENT

The applicant's brief is for the design of a self-build forever home on their rear garden ground. The plot will be subdivided and the existing house will be retained with family. The new house is to be modern, open-plan, bright and airy, with an ambition to harness renewable energies and utilise sustainable building materials as encouraged by the Supplementary Design Guidance.

Architectural intent

The proposal is for a 15 storey modern, open-plan house, which will be built using modern construction methods and finished with high quality materials.

The footprint of the house follows the stepped building line of properties 64 and 66 of Main Street, and is in proportion to their size.

An off centre pitched roof with vaulted ceiling has been used in order to keep the height as low as reasonably possible without compromising the usability of internal space. This means that the roofline tapers down to only 1 storey in height at the northern side boundary which faces the rear elevation of terrace houses at Brewlands Crescent.

With the height being so low, the proposal will not have a negative impact on overshadowing. The proposal will not cause any overlooking issues as all habitable room windows have been kept to the rear and front elevations, with the exception of a high level window to the kitchen which faces onto the shared stone boundary wall at no.64, and high level veluxs, facing Brewlands Crescent, which will be above eye level.

Both the front and rear gardens are private and hidden away from the street, therefore it should be considered that both of these areas are taken into account. The total garden area easily surpasses the minimum requirement of 15 times the size of the ground floor area.

Environmental sustainability

The design reduces the carbon footprint and enhances sustainability through multiple avenues:

- Natural and passive design principles are being exploited for a more sustainable model of living.
- High insulation and performance levels will be achieved using sustainable insulation, such as sheep wool.

- Large volumes of glass will be used to capture daylight and ensure good passive solar gain.
- Solid concrete floors with underfloor for thermal mass
- Electricity will be generated through solar panels installed on the south facing roof volume to power the whole building and charge cars. Battery storage will be used to capture power during the day for use at night.
- Openings are designed and positioned to allow for natural cross ventilation throughout.
- Construction will be SIPs (Structurally Insulated Panels) in order to achieve good air tightness, high levels of insulation and make the construction process quicker and easier with it being a narrow site. This will in turn reduce the disruption time to adjacent properties.

Access & Landscaping

Access to the property will be from the existing driveway of the house at 62A Main Street. The driveway is wide enough to be split to support safe vehicular access to the new dwelling whilst retaining a pedestrian path to the existing property. The existing property will still retain its front driveway, which is large enough to accommodate multiple vehicles.

The boundaries between the existing and new dwelling at 62A Main Street will be divided by high level fencing and hedges. The boundary hedge facing the terrace houses at Brewlands Crescent will be grown taller and replanted in places if necessary to increase privacy.

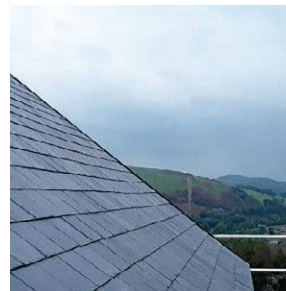
Materiality

The material palette is that of a modern oak-framed villa, which will compliment the existing conservation area.

Large expanses of exposed oak framing with recessed glazing have been proposed to the front and rear elevation to capture the morning sunrise and evening sunset, and overlook the private front and rear garden grounds.

The walls of the side elevations will be finished in white render, whilst the roof will be finished using natural slate.

Locally sourced or recycled materials are to be used whenever possible to promote a lower carbon footprint.



PLANNING HISTORY

Planning Permission in Principle (23/00693/PPP) was granted on 12th June 2024 for the proposal.

A Planning Application (24/00867/APP) was withdrawn on January 2025 due to planning conditions not being adhered to and new comments made by Ayrshire Roads Alliance regarding emergency vehicular access.

These conditions, alongside new comments have been addressed and explained in the following text sections:

CONDITION 4

(4C) Full details shall be submitted of the proposed dwellinghouse including scale plans illustrating the extent of the plot, the footprint of the dwellinghouse, elevations, floor plans, garden ground, access and parking areas. That notwithstanding the terms of condition 3 above, the dwellinghouse shall not exceed one-and-a-half storeys in height and there shall be no habitable windows on the gable elevations.

(4R) Reason: To ensure a suitable residential development in the interests of neighbouring amenity and the character and appearance of the Conservation Area:

- The proposed dwellinghouse exceeds 15 storeys in height (Condition 4);
- The proposed dwellinghouse contains habitable windows within its side elevations (Condition 4);

A detailed Planning Permission application (24/00867/APP) was submitted on 22nd November 2024 but was determined not to adhere to the condition above, set out by the previous Planner (who has since left South Ayrshire Council). There was a slight overlooking issue due to a rear balcony and it believed our proposal was 2 storey in nature, rather than 1.5 storey and recommended that we withdraw our application and for the house to be redesigned to the Council's opinion of what constitutes a 1.5 storey house should look like - the massing of the existing bungalow at 62A was suggested.

HABITABLE WINDOWS

The design has been revised to correct the overlooking issue to no.64 Main Street by placing a solid wall to the side of the rear recessed balcony.

15 STOREY DESIGN

We have found no specific definition from South Ayrshire Council or the Scottish Government that clearly states what a "15 storey" house should look like. Our proposed design includes a single-storey element at one end, rising to a midpoint with a vaulted ceiling, and then gently sloping down at the other side. Overall, the roof height is actually lower than neighbouring houses that are considered closer to 1.75 storeys in height.

In other words, by common architectural understanding, our design fits well within what would reasonably be considered a 1.5 storey house.

Furthermore, our site is located within the settlement boundary rather than in a rural area. As we understand it, such height restrictions only apply to rural housing to minimize visual impact, and are not enacted in any of the Council's own policies for design within an urban settlement boundary setting.

Therefore, why was this condition attached to the PPP application in the first place? It is not relevant to our application site and with it being a new Planning Application we should not be adhered to this condition. The surrounding houses (with the exception of the donor property) are all 1.75 storey - 2.5 stories in height.

The assessment of the proposed design therefore should be based on how the house sits within the application site and the scale of it within the context of surrounding properties. Additional wider context drawings have been provided to demonstrate this, with a comparison against the alternative bungalow design.

The proposed development is considered to be compliant with condition 4C.

CONDITION 5

(5C) That notwithstanding the terms of condition 3 above, the dwellinghouse, other than a modest front porch, shall not project forward of the front building line as established by the neighbouring properties at 64 and 66 Main Street to the satisfaction of the Planning Authority.

(5R) Reason: In the interests of residential amenity

- The proposed dwellinghouse projects forward of the building line with the adjacent neighbouring property at 66 Main Street reaching two storeys in height (condition 5 states other than a modest front porch, if extending beyond the building line);

FRONT BUILDING LINE

The design has always followed the stepped building line set out by the fronts of no.64 and no.66. Additional site plan drawings have been provided to demonstrate this.

The proposed development is considered to be compliant with condition 5.

CONDITION 6

(6C) That the existing trees, other than those agreed or approved for removal, shall be retained and protected in accordance with BS 5837:2012 (or as may be amended) Trees in relation to Construction, to the satisfaction of the Planning Authority.

CONDITION 7

(7C) That notwithstanding the terms of condition 3 above, compensatory tree planting shall be on at least a one for one basis. Full details of the proposed replacement trees, including the siting, numbers, species and heights (at the time of planting) shall be submitted at the Approval of Matters Specified in Conditions stage to the satisfaction of the Planning Authority.

- The submission is not accompanied by any information in relation to trees (as per condition 6 and 7).

TREE SURVEY REPORT

The application now has the tree survey report attached.

The proposed development is considered to be compliant with condition 6 & 7.

CONDITION 8

(8C) That off-road parking spaces shall be provided within the existing site boundary to satisfy provision levels as defined within the Council's adopted National Roads Development Guide, with parking layouts designed to comply with the guidance set out in the National Roads Development Guide, and within the Designing Streets publication as National Policy.

(8R) Reason: In the interest of road safety and to ensure adequate off-street parking provision.

- The submission does not include dimensions for car parking.

PLANNING HISTORY

OFF-ROAD PARKING SPACE

Additional dimensions have been added to the site plans to demonstrate adequate space for parking

The proposed development is considered to be compliant with condition 8

NEW COMMENT 1

Ayrshire Roads Alliance requires swept path evidence for the new access road/driveway and specifically raise concern about the sharp corner at the end of the new access road which requires to demonstrate sufficient access for emergency vehicles including fire engines.

SWEPT PATH ANALYSIS

This was never requested during the Planning Permission in Principle application, however we have now demonstrated 2 potential points of access for fire engines to access to be able to reach the furthest point of the proposed dwelling within 45m, as shown on drawing 23.016.20.

Of these 2 means of access, point 1 falls within the wider blue line boundary of the client. We have provided 3 separate scenarios for swept path analysis in which a fire engine can safely turn, reverse and reach within 45m in the event of an emergency.

The proposed development is considered to be compliant with new comment 1

NEW COMMENT 2

No ecological information has been submitted so as to establish a baseline of any potential ecological interests within the site.

ECOLOGY STATEMENT

The proposed development relates to the construction of a single dwelling within the garden grounds of an existing residential property. The site comprises managed garden land of low ecological value, with no notable habitats or protected species identified.

In order to ensure protection of local biodiversity and in line with good practice, the following measures will be implemented as part of the development

Vegetation and Habitat Protection

Any removal of shrubs or vegetation will avoid the main bird nesting season (March-August).

Where vegetation removal is unavoidable within this period, a suitably qualified ecologist will first check for active nests.

Wildlife Enhancements

At least two bird boxes (suitable for species such as blue tit, great tit or house sparrow) will be installed on retained trees or new buildings.

One bat roosting feature (such as a bat box or integrated bat brick) will be incorporated into the new dwelling where feasible.

Native flowering and berry-bearing shrubs will be included in landscaping to provide nectar and foraging resources for birds and pollinators.

Construction Safeguards

Contractors will be made aware of the potential presence of wildlife and instructed to take care when clearing vegetation or working near boundary features.

Any excavations left overnight will be covered or fitted with escape ramps to avoid accidental entrapment of mammals such as hedgehogs.

Lighting

External lighting will be kept to a minimum, directed downwards, and designed to avoid unnecessary illumination of boundary habitats.

Conclusion

The proposed development is of low ecological risk given the site's managed garden context. The above measures will ensure that local biodiversity is protected during works and that the development delivers a net gain for wildlife in accordance with local and national planning policy.

The proposed development is considered to be compliant with new comment 2

NEW COMMENT 3

It is also noted that the adjacent stone boundary wall, which encloses part of the site, is category B listed and is part of the walled garden of Townend Cottage. Therefore, some consideration of the development on the setting and integrity of the listed wall is also required.

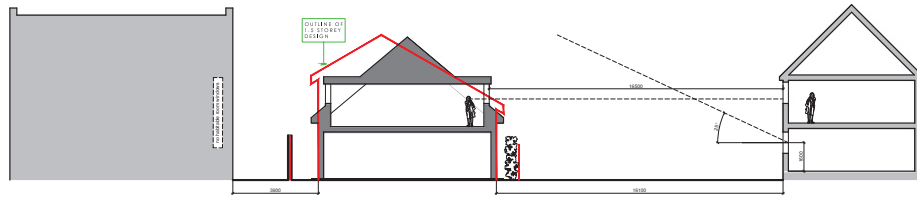
HERITAGE STATEMENT

The application site contains a listed boundary wall which forms part of the curtilage of the host property. The proposed new dwelling has been carefully designed and positioned to ensure that the setting and integrity of the wall are fully preserved.

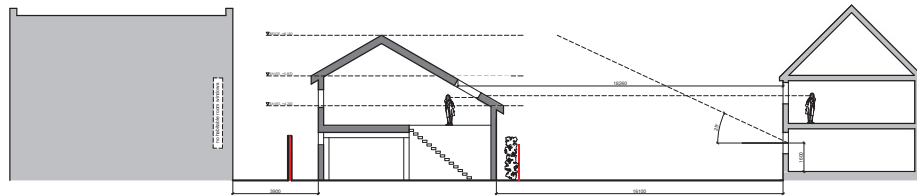
The new building will be set back a minimum of 1 metre from the wall, with no physical attachment, alteration, or intervention proposed. Construction activities will be managed to avoid accidental damage, with protective fencing erected during works to safeguard the structure.

By maintaining a clear separation and ensuring that the wall is not impacted either structurally or visually, the proposal preserves the significance of this historic feature in line with statutory requirements and national heritage policy.

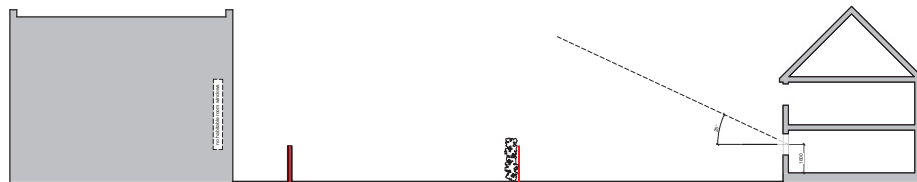
The proposed development is considered to be compliant with new comment 3.



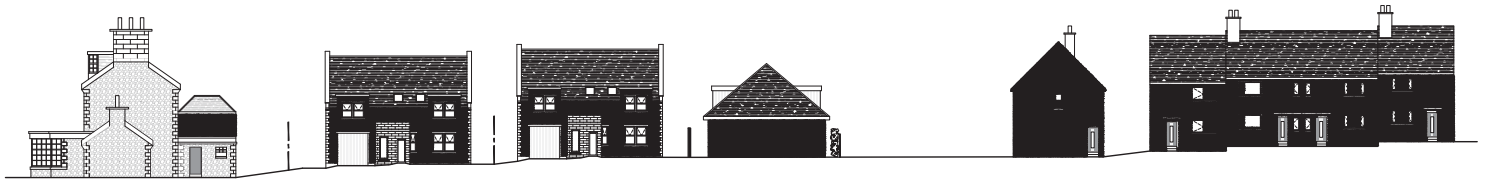
SITE SECTION - ALTERNATIVE BUNGALOW DESIGN



SITE SECTION - PROPOSED DESIGN



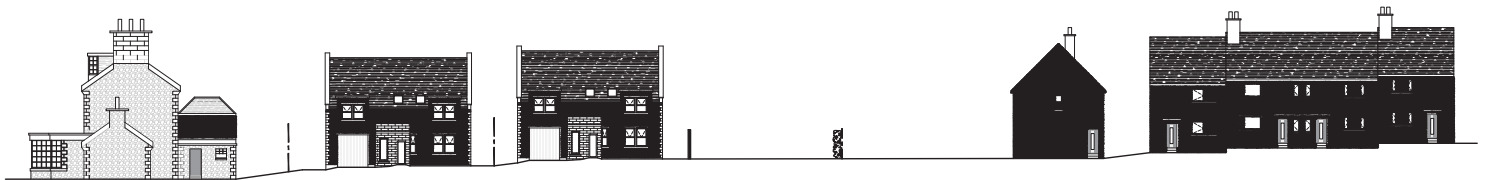
SITE SECTION - EXISTING



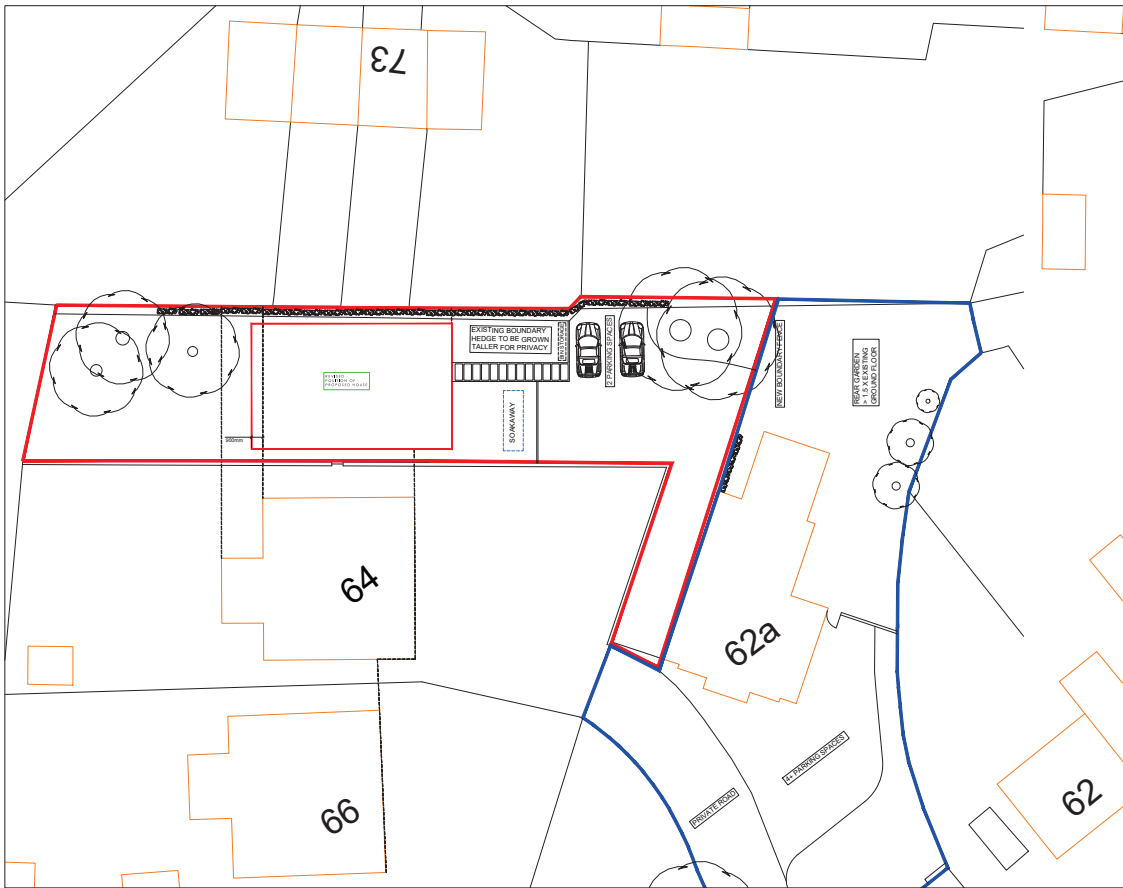
SITE SECTION - ALTERNATIVE BUNGALOW DESIGN

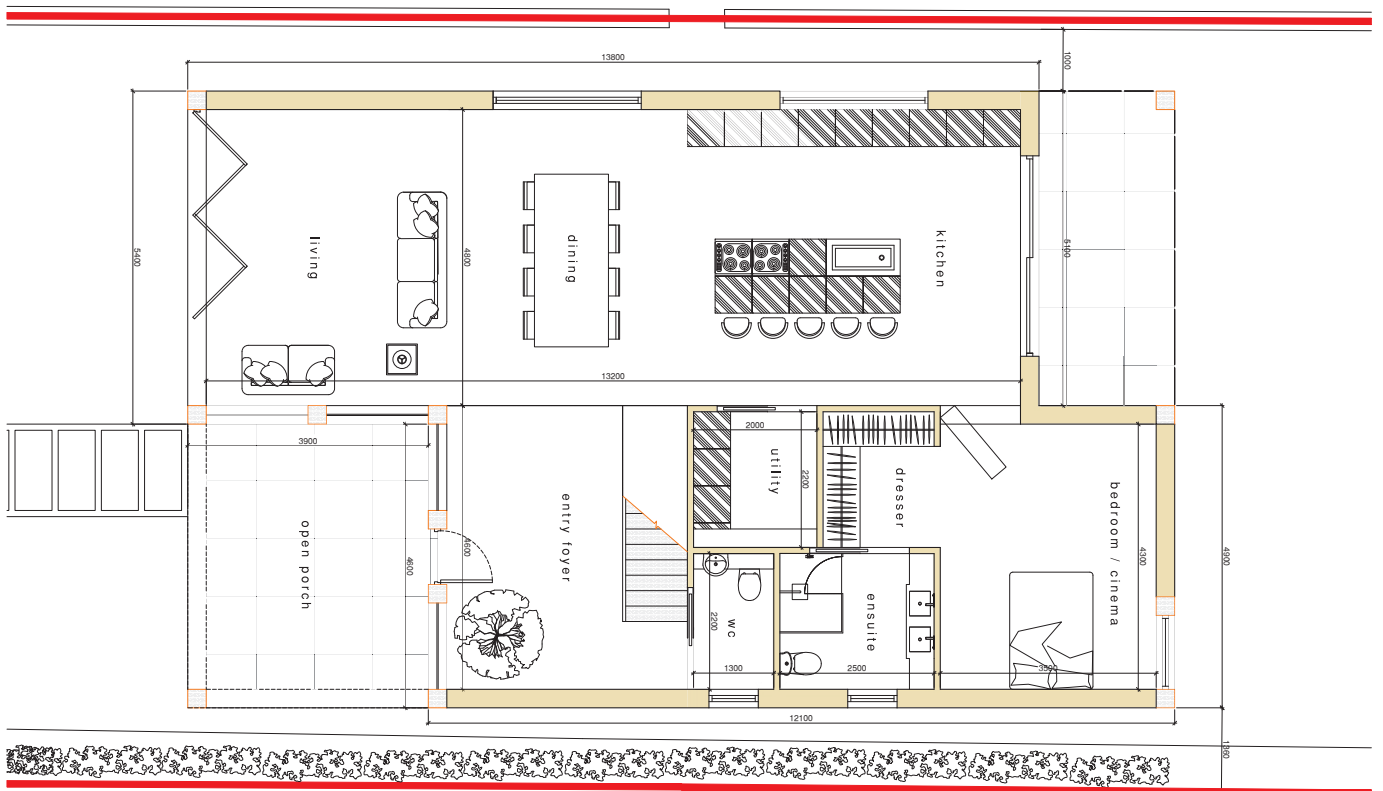


SITE SECTION - PROPOSED DESIGN



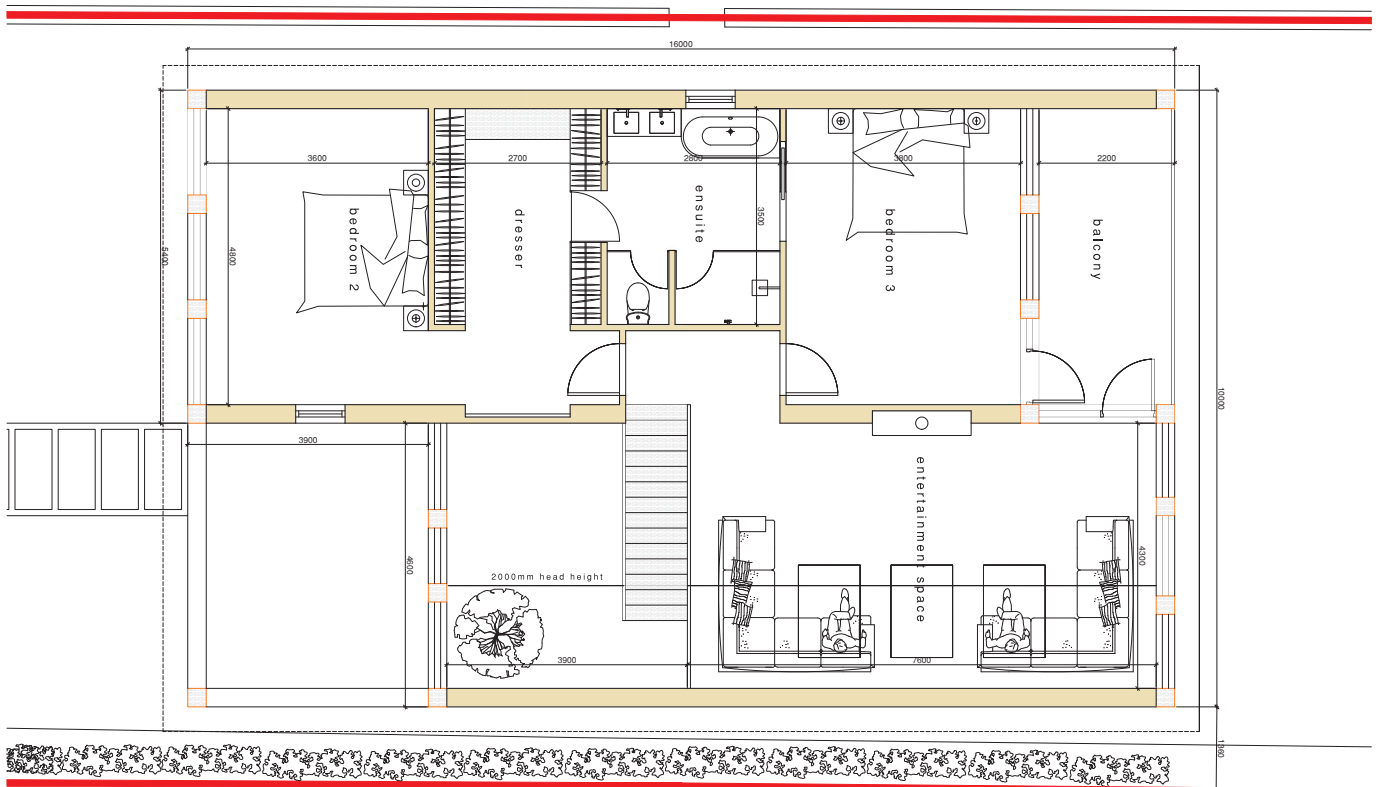
SITE SECTION - EXISTING



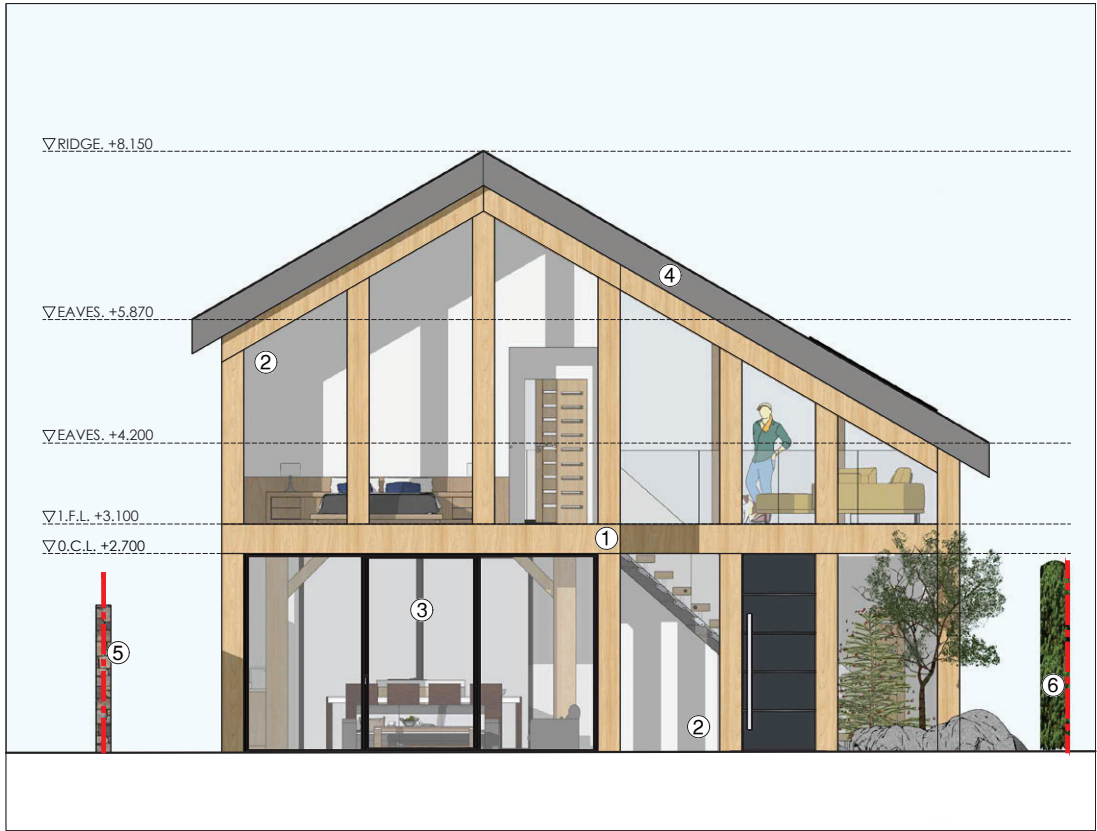


GROUND FLOOR PLAN

SCALE : NOT TO SCALE



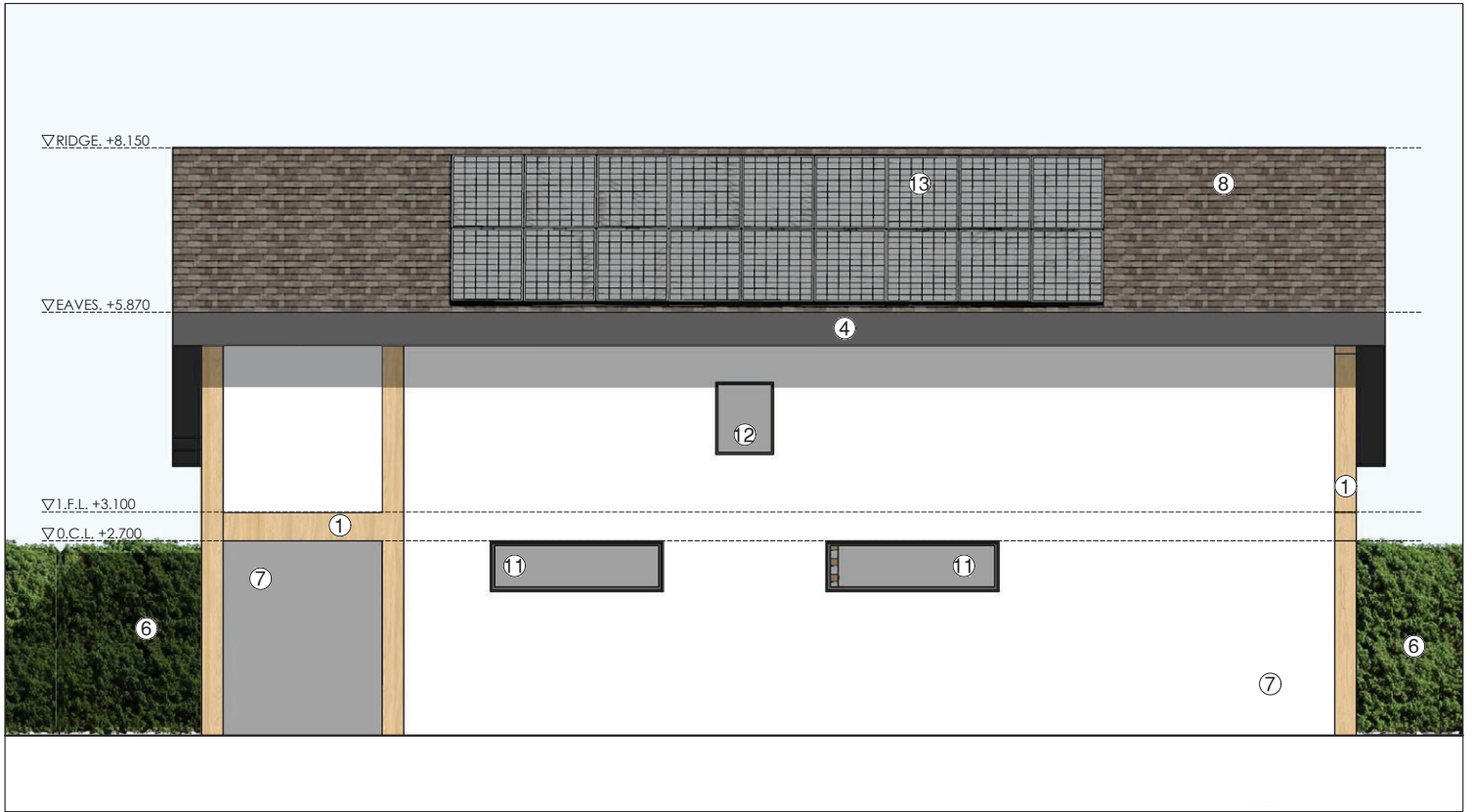
FIRST FLOOR PLAN
SCALE : NOT TO SCALE



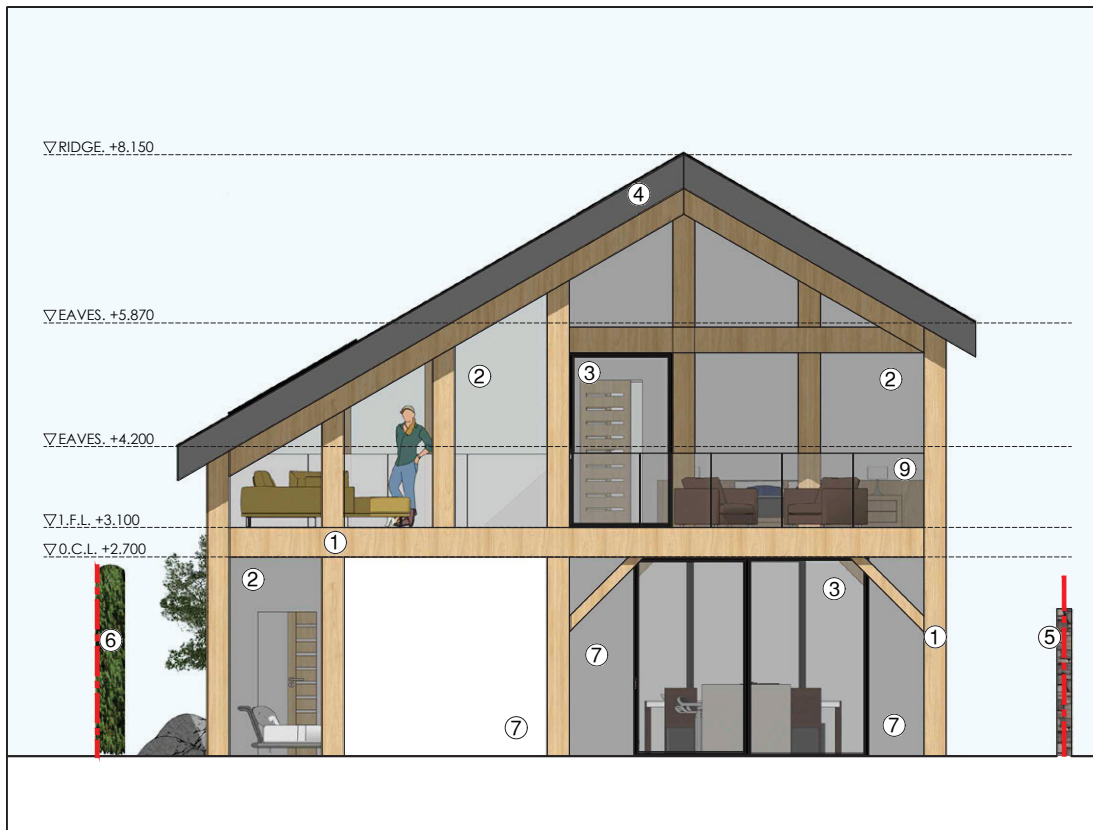
material schedule

- ① oak framing
- ② recessed glazing
- ③ black/anthracite aluminum doors
- ④ dark grey fascia board
- ⑤ existing boundary stone wall
- ⑥ existing boundary hedge enlarged
- ⑦ white render
- ⑧ dark grey natural roof slate
- ⑨ glass railing
- ⑩ black skylights
- ⑪ high level dark grey aluminum windows
- ⑫ dark grey aluminum window with opaque glass
- ⑬ solar panels

FRONT ELEVATION
SCALE : NOT TO SCALE



SIDE ELEVATION
SCALE: NOT TO SCALE



- material schedule
- ① oak framing
 - ② recessed glazing
 - ③ black/anthracite aluminum doors
 - ④ dark grey fascia board
 - ⑤ existing boundary stone wall
 - ⑥ existing boundary hedge enlarged
 - ⑦ white render
 - ⑧ dark grey natural roof slate
 - ⑨ glass railing
 - ⑩ black skylights
 - ⑪ high level dark grey aluminum windows
 - ⑫ dark grey aluminum window with opaque glass
 - ⑬ solar panels

REAR ELEVATION
SCALE: NOT TO SCALE



SIDE ELEVATION
SCALE: NOT TO SCALE







Main Street Symington

Tree Survey Report

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Date: v 3.0 April 2024

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Context and Purpose

This report covers the trees located within and adjacent to a proposed residential building plot located at 62a Main Street, Symington, in South Ayrshire.

The site is located within the garden area of said property and is located within The Symington Conservation Area designated for its local historical interest. As such any proposed tree works would require a formal application requested made to South Ayrshire Council for approval.

The Tree report has been requested as part of planning permission requirements.

The purpose of the plan is to review the individual trees adjacent to the property and proposed area of development to assess their condition, and to provide recommendations for their future protection and management, both during building construction and afterwards.

This report sets out the findings of the tree survey and records the existing condition and health of individual trees present on the site together with recommendations for their management in the future. The Plan also covers the protection and management of the trees, and outlines proposals for additional planting following the proposed development.

Site Description

The site located off Main Street in Symington and sits within a currently residential area.

There are properties with garden areas located to the north and south of the site, with 62a Main Street located to the east.

The site is currently an amenity grass area functioning as a lawn to the existing property. Mature trees are positioned to the east and west of the proposed site for the new house plot. Recently planted beech hedging forms a perimeter to the site to the north and west, whilst the southern edge of the site is demarcated by a stone wall ~1.5m in height.

The site access is via an existing shared entrance road from main street and an existing driveway which provides access along the edge of the existing property at 62a Main Street to the rear of the premises.

There are other tree features on the property located along the entrance driveway to the south which are unaffected by the current proposals. These have been included as part of the survey by way of providing information and advice to the owners.

On overhead service BT service is present in the northeastern corner of the site, but as far as can be ascertained, no other services impinge on the site.

The trees present on the site are large mature specimens which are generally in reasonable health but are overly large in their current context and have several structural defects either present or developing which present a current and future risk, both in terms of existing properties and the proposed development.

The soils across the site are characteristically gley soils.

Site Development Proposals

Permission is being sought to build a detached residential premises within the rear garden area of the property at 62a Main Street. The site will be accessed from Main Street via existing roadways, with an area extending to the north proposed to provide for off road parking and turning. A soakaway is proposed to the west of the proposed house plot to provide suitable site drainage.

Tree Descriptions

There are a total of 6 mature trees located within or immediately adjacent to the site boundary which are assessed as being potentially impacted by the proposed development.

A further 2 trees are located to the north-east of the existing property which have been surveyed for the purposes of providing updated information to the owners.

Along the entrance road, 3 trees and two sections of hedge have been surveyed, again for the purposes of providing updated information and advice to the owners.

Methodology

The on-site tree survey and assessment covered all individual trees within the application area which total 4 in number. A further 5 trees have been recorded on adjacent land within the same ownership, two of which are assessed and being potentially impacted by the proposed development.

Hedge features were also considered and noted during the survey. Three sections of hedging (A-C) have been noted and recorded within the survey, with management advice provided for each.

The trees were surveyed in line with the British Standards 'Trees in Relation to Design, Demolition and Construction – Recommendations (BS 5837:2012). The survey included an assessment of the trees in terms of their current condition.

The individual trees have undergone an external visual assessment from ground level, following methods as described in Visual Tree Assessment (VTA Type 1), (Mattheck and Breloer, 1994).

Defects noted are only those that can be observed by this means. The timing of the survey (when the trees were without leaves) imposes minor limitations in terms of identification of the tree's attributes and structural issues.

It should be noted that all trees present a potential risk and in particular:

- A tree with disease or structural problems may show no outward symptoms.
- Even a healthy tree can fail in extreme weather conditions.

Individual Trees

In total 11 trees were surveyed and numbered. One additional dead tree totem present was also surveyed for the owner's information and advice. Due to the limited size of the site, it was determined that the trees reported on would be identifiable without the need for tagging.

Hedges

Hedgerows are recorded as identified letter referenced Sections A-C.

(Refer to Map 1- Existing features)

Tree Survey Details

The Tree Survey Plan records the location of all individually surveyed trees. Some locations were derived from points recorded on a topographic survey, hence tree locations should be treated with a degree of caution, although identification on the ground should be a straightforward operation.

Attributes Recorded in Appendix 1 – Tree Survey

The following tree attributes have been recorded in line with the British Standards 'Trees in Relation to Design, Demolition and Construction – Recommendations (BS 5837:2012).

Attribute	Description
Tree Reference.	Numbered 1-12 on the tree survey report and maps
Species	Tree species; Common name.
Height (m)	The height of the tree estimated to the nearest metre.
Crown Spread	The crown spread recorded in metres
Crown Clearance	The height of the lowest branches of the canopy above ground level has been estimated (in metres).
Stem dia.(cm)	Generally, the stem diameter was recorded at 1.5m above ground level and measured in centimetres.
Age Class	The age class of the tree was recoded, classed as Young (Y), semi-mature (SM) early mature (EM), and mature (M). The age range in years for each class varies depending on the individual tree species (e.g. whether shorter lived pioneer species, or longer-lived forest canopy species)
Physiological Condition	Recorded as either good, fair, poor, or dead. Trees were generally classed as good or fair unless there was a notable issue with their health or structural integrity (e.g. damage, decay, disease, fungal growth, dieback, lack of vigour), in which circumstance the tree was classed as poor.
Structural Condition / description	Notes on the tree's current health and physical condition were recorded.
Management Recommendations	This contains advice on work that may be required. Advice is given on the basis that all trees should be retained if feasible, with tree works which may be required being listed.

Attribute	Description
Remaining Contribution	This is an estimate of how long the tree will continue to make a useful contribution in landscape, biodiversity, silvicultural, or amenity terms, using the categorisation recommended in BS 5837:2012. (NB this is not how long the tree may live for)
Retention Category Retention Category	Each tree within the site has been assigned to one of four categories A- trees of high quality and value B- trees of moderate quality and value C- trees of low quality and value U - trees with serious defects, are dead, in irreversible decline, are unsafe, or are of very low quality These categories are further defined in BS 5837:2012.
Root Protection Area Radius	Radius of root protection area in m
Root Protection Area	Root protection area as m ²

Tree Survey Results

Appendix 1 – Tree Survey records the condition of the surveyed trees.

A summary of the survey results is set out in the following sections.

Individual Trees

- Species Composition

Six species were encountered, with five broadleaved species and one coniferous tree.

A species breakdown is given in the table below: -

Common Name	Species	No.
Sycamore	Acer pseudoplatanus	4
Beech	Fagus sylvatica	3
Pedunculate oak	Quercus robur	1
Ash	Fraxinus excelsior	1
Horse chestnut	Aesculus hippocastanum	1
Yew	Taxus baccata	1
Total		11

Refer to Map 1 – Existing Features

- Tree Heights

The tree heights encountered range from 7m -20m

Tree Height (m)	No.
5-10	1
10-15	0
15-20	10
Total	11

- **Tree Diameters**

Stem diameters range from 15cm – 105cm.

Diameter Range (cm)	No.
11-20 (multi-stemmed)	1
20-40	0
41-70	4
70-100	4
100+	2
Total	11

- **Age Classes**

Age Class	No.
Y/SM	0
EM	3
M	8
Total	11

Tree Condition

Although most trees were found to be in good or fair condition, two trees were categorised as poor for a variety of reasons, mainly relating to major defects and poor health.

Condition	No.
Good	4
Fair	5
Poor	2
Total	11

Refer to Map 2 – Tree Condition Category and Tree crowns

- **Estimated Remaining Contribution**

Most of the trees on site are estimated to have a relatively limited life expectancy, related to their current poor condition.

Estimated remaining contribution (years)	No.
<10	1
10-20	1
20-40	5
40+	4
Total	11

- **Quality Category Rating**

All the trees have been classified as being of low quality with no outstanding specimens encountered, and most trees exhibiting signs of structural weakness or defects.

The category ratings are summarised in the following table: -

Condition Category	No.
C - Trees of low quality with an estimated remaining life expectancy of at least 10 years	11
U – Trees in such a condition that they cannot realistically be retained as living trees in their current context for longer than 10 years.	0
Total	11

Refer to Map 3 - Tree Retention Category and Root Protection Areas

Hedging

Three sections of hedging have been recorded.

Section A is a recently planted beech hedge established along the northern and western edges of the property as a boundary feature. The hedge is young and at the stage where it can be formatively pruned to the future desired height and shape.

Hedge Section B is a semi-mature coniferous hedge established along the edge of the entrance drive. The sides of the hedge are maintained to a height of ~2m, but the tops have been left to grow out and are currently at a height of 7-9m and outwith the reach for routine maintenance.

Hedge section C is also located along the entrance drive and is a short section of young beech hedging like hedge section A. As with section A, the hedge is young and at the stage where it can be formatively pruned to the future desired height and shape.

Refer to Map 1 – Existing Features

Management Recommendations

The tree survey and assessment include recommended individual tree works for 7 of the 11 trees recorded on the site. The works are recommended to avoid issues relating to site safety, ongoing tree health, and safeguarding adjacent roadways and properties.

Three trees are identified for arboricultural treatments to remove hazards and to safeguard their health.

Four trees are recommended for felling, with three of these being recommended as a result of the proposed development, either as a result of the proposed disturbance to rooting areas, or due to existing defects and the increased risk resulting from the location of the new build.

Hedge treatments are proposed to maintain these features under suitable management.

Refer to Map 4- Management Recommendations

Individual tree works	Quantity	Tree reference	Timing
Fell	1 no.	8	Year1
Fell to accommodate development proposals	2 no.	2, 4	Year1
Arboricultural works	3 no.	1, 3, 7	Year1
No works (monitoring)	5 no.	5, 6, 9, 10, 11	
Hedgerow Treatments	Quantity	Group reference	Timing
Arboricultural works	1 no.	B	Year1
Routine maintenance	3 no.	A, B, C	Ongoing
New Planting		Reference	
<i>Refer to Map 5 – Tree Protection and Mitigation</i>			
Plant root-balled, regular standard sized trees (girth 6-8 cm, height 1.5-2.0m)	4 no.	a-d	Year 2
New Privet hedging (2 litre containerised stock) at 3/m (60 plants)	20m		Year 2
Maintenance			
Maintain trees in a weed-free condition	4 no.		Year 2-4
Maintain stakes & shelters in upright condition	4 no.		Year 2-4
Replace failed trees as required			Year 2-4
Remove tree shelters & stakes	4 no.		Year 5

Individual Tree Works

Any tree works will be undertaken outwith the bird nesting season (1st March – 31st August) if possible, to avoid disturbing nesting birds, although works may be able to proceed during the breeding season subject to prior survey and authorisation by a qualified ecologist.

It is recommended that any timber and branch wood arising from the works be removed from site or chipped on site. However, it may be that some timber could be used in the garden design of the new property.

All the trees recommended for felling are too large to allow direct felling in the available space, and it is recommended that these trees be felled by sectional dismantling of the crown.

Tree surgery and felling works should be undertaken by a professional, qualified, and insured contractor and the works should be overseen and checked by a qualified and experienced forestry or arboricultural consultant, to ensure that all work meets British Standard 3998(2010).

New Planting

To mitigate for trees recommended for felling the following new planting is recommended to re-establishing a tree presence for the proposed development.

Species suggested are more appropriate for the site as a small garden setting and given the proposed new setting in the proximity of buildings. Those trees proposed for planting are favoured for their ease of management and their moderate future size and stature at maturity. Four trees are proposed in compensation for the four trees proposed for removal the numbers of trees proposed, and their proposed locations are considered appropriate to the site size and development layout.

The following trees are suggested:

Ref	Common name	Species	No.
a	Domestic plum tree	<i>Prunus domestica</i>	1
b	Domestic apple tree	<i>Malus domestica</i>	1
c	Himalayan birch	<i>Betula utilis</i>	1
d	Midland hawthorn	<i>Crateagus laevigata</i>	1

All trees will be root-balled, regular standard sized nursery stock (girth 6-8 cm, height 1.5-2.0m) and will be planted into prepared pits as follows: -

- Strim off a circular area existing vegetation 150cm in diameter centred on location where tree is to be planted.
- Excavate pit for tree planting.
- Pits to be excavated to 1.5 times the width and depth of the individual tree rootball.
- Break up the sides and base of excavated pit and incorporate tree-planting compost into the edges of the pit and the excavated soil prior to planting, (50:50 mix).
- Place tree into pit ensuring that the main leader stem is vertical before backfilling.
- Backfill tree pit in layers firming soil/compost mix every ~10cm of fill depth
- On completion of backfilling firm up tree, again ensuring main stem is vertical and firm up soil and compost mix to depth to ensure that the tree root collar is located at or slightly above existing ground level.
- Spread any excess soil evenly around base (or remove from site if required).

The trees will each be supported by 3 no. stakes and tree ties, with a spiral shelter fitted at the base of the tree.

The trees, shelters and stakes will be maintained in an upright and tidy condition with weed competition controlled by individual mulch mats and hand weeding as required. Once the shelters have served their purpose they will be removed and recycled.

Refer to Map 5 – Tree protection and Mitigation

New hedge planting

As part of the new development, it is proposed that a new hedge feature is planted along the eastern boundary to the new property to provide separation against the existing dwelling. The hedgerow will extend to 20m in length.

The hedging proposed is Privet (*Ligustrum vulgare*) which will be easy to maintain to the desired height and shape.

- The hedgerow will be prepared by manual cultivation.
- Mulching will be used to suppress competing vegetation.
- Plants will be 2l container grown nursery stock.
- Hedge plants will be planted at a density of 3/m in double staggered rows 50cm apart.
- Mulch will be maintained, and the hedgerow manually weeded where required to ensure successful establishment
- Watering will be carried out during dry periods.

Hedgerow Management

Hedge sections A and C consist of recently established beech hedging which has established well and is at a stage where formative pruning can be carried out.

As a guide, it is recommended that these hedges are trimmed back uniformly to a height of 1.0m initially and maintained to a height of 1-1.2m, with the sides regularly trimmed to form and maintain an "A" shaped profile.

Hedge section B is overgrown and is currently over tall and, at ~7m in height, is difficult maintain. To bring the hedge back into a manageable condition it is suggested that the owner undertakes to take the tops out of each tree making up the hedgerow and thereby reduce the height of the hedge in a series of phased cuts at ~ two yearly intervals to reduce the overall height until the desired manageable hedge height is reached (~2-3m is suggested).

This is a dramatic reduction from the current height of the hedging which, if undertaken directly, is likely to result in the death of the hedgerow trees making up the feature. It is therefore recommended that the height reduction is done gradually. Each phased reduction cut should aim to reduce the hedge height by 1 -1.5m (leaving two years between these major cuts to allow for recovery growth).

Refer to Map 5 – Tree Protection and Mitigation

Protection of Mature Trees

It is important that the existing trees are be protected to prevent any machinery damage to the trees and compaction of the tree rooting zones.

Temporary protective fencing should be installed to protect rooting zones.

Where proposed construction necessitates impinging on the Root Protection Areas, protective measures should be undertaken to minimise potential disturbance or damage.

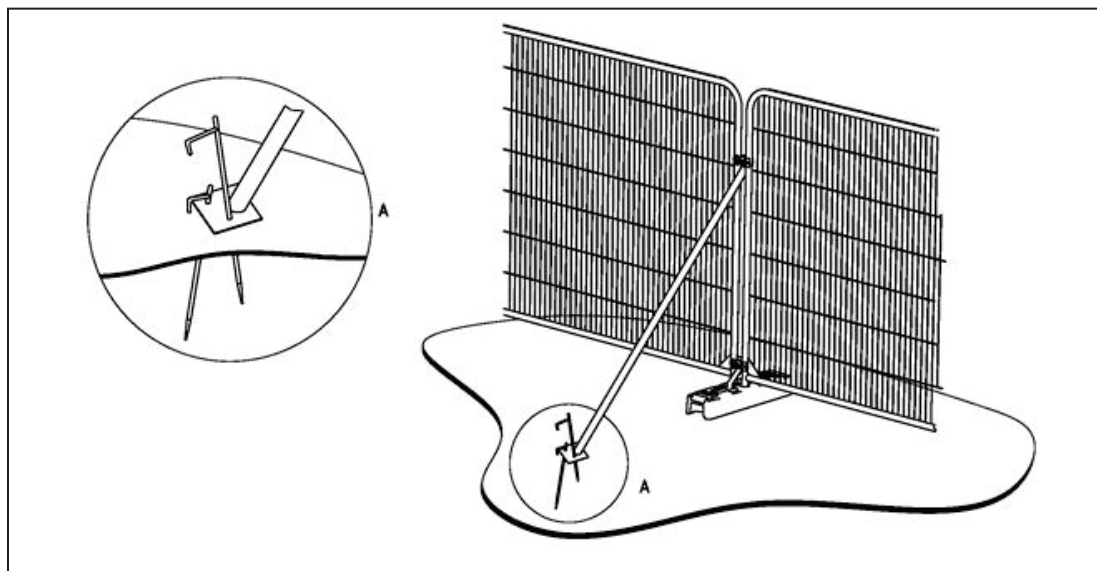
Root protection measures will accord with the British Standards 'Trees in Relation to Design, Demolition and Construction – Recommendations (BS 5837:2012) and will include:

Protective Fencing

Protective fencing will be in the form of 2 m tall, welded mesh panels on rubber or concrete feet joined together using a minimum of two couplers. Where required the fence panels will be supported on the inner side by stabilizer struts (see Diagram 1)

Refer to Map 5 – Tree Protection and Mitigation

Diagram 1



Ground Protection

There is potentially some overlap of access for construction which may impinge on identified RPAs. In such cases, ground protection will be undertaken to restrict the potential for damage to retained trees as a result.

Traffic is anticipated to accommodate for pedestrian movements and pedestrian-operated plant of 2 tonnes weight or less.

A geotextile membrane will be laid across the exposed RPA area and overlain with a compression-resistant layer (150 mm depth of woodchip is recommended). Proprietary, inter-linked ground protection boards will be placed on top. No excavation will be undertaken.

Refer to Map 4 - Management Recommendations and Map 5 – Tree Protection and Mitigation

Construction within RPA areas

As originally laid out, the proposed Root Protection Areas (RPA) of trees proposed for retention impacted by the development footprint in two areas the site, these being the proposed driveway access and turning area serving the house, and the proposed soakaway providing drainage.

The layout of the design has been revisited, and as a result the position of the soakaway has been relocated to reduce impacts on retained tree features 1 and 3.

- 1 Tree numbers 5 and 6 will be impacted by the proposed construction of the driveway serving the house.

Within the RPA area affected by the works, the proposed driveway will be constructed in accordance with guidance set out in Arboricultural Association's Guidance Note 12 (Cellular Confinement Systems)

The construction proposed will not entail excavation, Clearance of vegetation will be undertaken, and geotextile laid. A 50mm depth three-dimensional cellular confinement system will be laid onto the geotextile. This will be topped off with 75mm of with graded 15-30mm coarse aggregate.

The new approved porous surfacing will be overlain onto this base.

- 2 The proposed construction of a soakaway was originally proposed to the west of the proposed house plot and as a result impacted on the root protection areas of Tree numbers 1 and Tree number 3. The location was queried by South Ayrshire Planning and as a result the design was revisited, with a new location for the soakaway identified to the west of the house plat and outwith of the identified root protection areas.

The following table indicated the degree of intersection between the proposed development proposals and the Calculated Root Protection zones: -

Tree Ref. No.	Species	RPA (m²)	Area (m²) of RPA impacted by proposals	% of RPA affected
5	Common beech	499	154	30.9%
6	Common beech	430	49	11.4 %

In implementing the proposed development machinery access may be required within RPA's for construction purposes. Traffic is anticipated to involve pedestrian movements and pedestrian-operated plant of 2 tonnes weight or less.

If this need arises, ground protection measures will be undertaken. This will entail the laying of a geotextile membrane will be laid across the exposed RPA area and overlain with a compression-resistant layer with ground protection boards placed on top.

Excavation of the soakaway trench will be carried out initially by hand to locate and identify roots any crossing the proposed area of excavation.

Where encountered and if required, roots smaller than 25 mm diameter may be pruned back using a clean cut with a suitable sharp tool. Roots occurring in clumps or of 25 mm diameter and over will be left intact, and only be severed only following consultation with an arboriculturist, as such roots might be essential to the tree's health and stability.

Roots greater than 25mm diameter will be marked and cleared around by hand, wrapped in hessian and protected from excavations. These roots will be retained in place and filled around in constructing the soakaways.

Prior to backfilling, retained roots will be surrounded with topsoil or uncompacted sharp sand or other loose inert granular fill. before clean soil or other suitable material is replaced.

Refer to Map 5 – Tree Protection and Mitigation

Ongoing Monitoring and Future Mitigation.

The proposed mitigation measures aim to safeguard the trees proposed for retention on site which will undergo a degree of disturbance to their predicted Root Protection Areas.

Changes in the ground water levels may result from the proposed construction of the soakaway. Similarly, the proposed construction of the driveway serving the site may result in a slightly lowered water table impacting on trees 5 and 6.

This may result in the trees experiencing seasonal drought conditions during prolonged spells of dry weather. During these periods it is recommended that the Root Protection areas are regularly and heavily watered at intervals not less than 3 days apart to compensate for a reduced ground water table.

Following implementation of the proposed development it is recommended that these trees are monitored for a period of ~20 years and inspected for changes in their condition at ~18 month intervals, or whenever issues are identified, to check for signs deterioration resulting from the proposed works. Where any such deterioration is noted or suspected, it is recommended that the advice of an arborist is sought.

Should the trees decline to a stage where they are determined to be unsafe or in terminal decline and removal recommended, these trees will be safely removed, and replacement planting will be undertaken at the same locations on a like for like species basis.

Replacement planting will be carried out with root-balled standard planting stock, in accordance with the methodology set out in the New Planting section above.

Location	Tree Ref No	Species	Height m	Stem Diam (cm)	Crown weight	Crown spread (m)	Crown Clearance	Age Class	Physiological condition	Description	Preliminary recommendations	Estd Remaining contribution (years)	Simple Mmt recommendations	BS Category Grading	RPA	RPA radius	Circle diam
NW corner	1	Pedunculate oak	20	102	N	8	6	M	Fair	5 degree lean to NE. Epicormics on bole from base. Large pruning wound at 3.5m to east with exposed heartwood with water ingress likely. Major fork to co-dominants at 8m. Low vigour, with dieback in crown. Major broken branch in upper crown at 15m, and a further twisted branch from torsion failure at 15m. Dead branches in upper crown to N. Old broken branch stubs at 10m and 12m also present on north side, which are deteriorating. Minor ivy growth at base to the north.	Deadwooding to clear crown of deadwood. Monitor	20-40	Deadwooding and monitor.	C	475	12.3	24.6
NW corner	2	Common beech	18	94	S	9	4	M	Poor	Located close to garden shed. Slight lean to N. Occluding branch wound at 2m to South. Further branch wounds at 3m with cavity and old fungal bracket evident. Main stem with upward facing cavities at 3.5m, 4m and 7m, again to the south, and at 3m and 7m to the east, just below the main fork. Upward facing cavity at 7m to north-east with hollow reported, and water leaving cavity from broken branch stub at 5m to the south.	Monitor. Tree has several structural issues relating to cavities in the upper crown which present a risk to properties in the vicinity.	10-20	Fell	C	387	11.1	22.2
NW corner	3	Sycamore	20	99	NE	10	5	M	Good	Slight lean N. Large healthy specimen which dominates the tree group in this corner. Located close to garden shed. Fork at 6.5m to co-dominants. Further major fork on south-western stem at 7.5m with a compression fork and indications of stem cracking. Pruned branch stubs at 4m to the NE. Further branch at 5m with minor dieback. Old wounds noted on main stem from 2m to 4m to the NE with flaking bark.	Crown lift to 6m to remove branches on the NE side. Monitor.	40+	Crown lift to 6m to remove branches on the NE side. Monitor. Root protection measures for proposed soakaway	C	452	12	24
NW corner	4	Sycamore	18	79	E	8	4	M	Fair	5 degree lean to E. Main stem forks at 6.5m to co-dominants. Stem to NW has a large cavity just above the main fork with with upward facing entry hole and water ingress into the main fork. Broken branch stubs in middle crown with minor deadwood. Old broken out branch wound at 2m to SE with minor surface rot and exposed heartwood. Large pruned branch stub at 4m to South. Numerous other pruning wound from past tree surgery treatments. Minor hanging branch at 5m to south. Minor epicormic growth from base. Minor deadwood in lower crown. Minor ivy.	Inspect cavity at 7m above main fork. Treat basal epicormics. Monitor	20-40	Fell	C	290	9.6	19.2

Location	Tree Ref No	Species	Height m	Stem Diam (cm)	Crown weight	Crown spread (m)	Crown Clearance	Age Class	Physiological condition	Description	Preliminary recommendations	Estd Remaining contribution (years)	Simple Mmt recommendations	BS Category Grading	RPA	RPA radius	Circle diam
NE edge	5	Common beech	18	105	N	8	7	M	Fair	Slight lean N. Buttress roots with minor surface damage and wounds. Minor anomalies noted to root flares to North and south but main stem appears sound. Pruning wounds at 3m to the SW. Major limbs to the north treated in past leaving long pruning stubs at 7m and 8m. Crown reduction undertake 2 years previously from which the tree appears to be recovering but has left a slightly stag-headed appearance. Works included for the pruning of branches in upper crown overhanging adjacent property boundary.	Reduce pruning stubs by pruning back to main stem. Monitor	40+	Fell	C	499	12.6	25.2
NE edge	6	Common beech	20	97	NE	9	7	M	Good	Slight lean N. Pruning carried out on upper and middle crown along the north side of the tree leaving pruning stubs. Minor wound at 1m on the main stem with flaking bark. Hollows present between root flares to north but no signs of rots. Crown lifted to 5m in past with epicormic growth from pruning wounds. Minor ivy to east.	Monitor	40+	Monitor	C	430	11.7	23.4
NE outwith of site	7	Sycamore	18	56	W	7	3	EM	Fair	Located next to a paved garden path and garden buildings. Large wound on main stem to North from 0.25 to 1m with exposed heartwood and minor surface rot. Garden fence attached at 1.5m by single screw for support. Stem leans to west over garden buildings. BT cable passes below crown, with some branches in contact. Crown lifted in past with branch stub at 6m to West. Slightly suppressed by adjacent Ash tree.	Remove screw from fence and find alternative method to support fence. Monitor	20-40	Minor work. Monitor	C	150	6.9	13.8
NE outwith of site	8	Common ash	18	68	N	7	5	M	Poor	5 degree lean to w. Large pruning wound at 1m to the south with fort extending into the bole. Broken branch/limb at 1m to East side with rot evident. Wound above remant limb is occluding. Main stem forks at 4.5m to co-dominants. Further broken out branch wound at 5m just above main fork. Leans to N over adjacent prpery. Medium diameter deadwood evident in crown with some hanging branches. Pruning wound on branch at 7m from recent tree work. Open wound on large upward growing branch from the main fork at 7m forming structural weakness (branch is ~15cm diameter)Tree is in heavy mast. No obvious signs of crown dieback indictating Ash dieback, but tree appears to be deteriorating.	Monitor	< 10	Fell (due to ongoing issues and the likelihood of Ash dieback disease resulting in further issues).	C	222	8.4	16.8
Entrance road W	9	Yew	7	10 x 15cm	E	3	5	EM	Good	Multi-stemmed feature on edge of existing driveway. ~10 stems, located in front of Hedge B.	Monitor	40+	Monitor	C			
Entrance road W (outwith of site)	10	Sycamore	18	55	N	6	4	EM	Good	Crown flagged and may have been suppressed until recent removal of adjacent tree. Wound on main stem at 4m to North east. Minor deadwood and a hanging branch in the middle crown.	Monitor	20-40	Monitor	C			

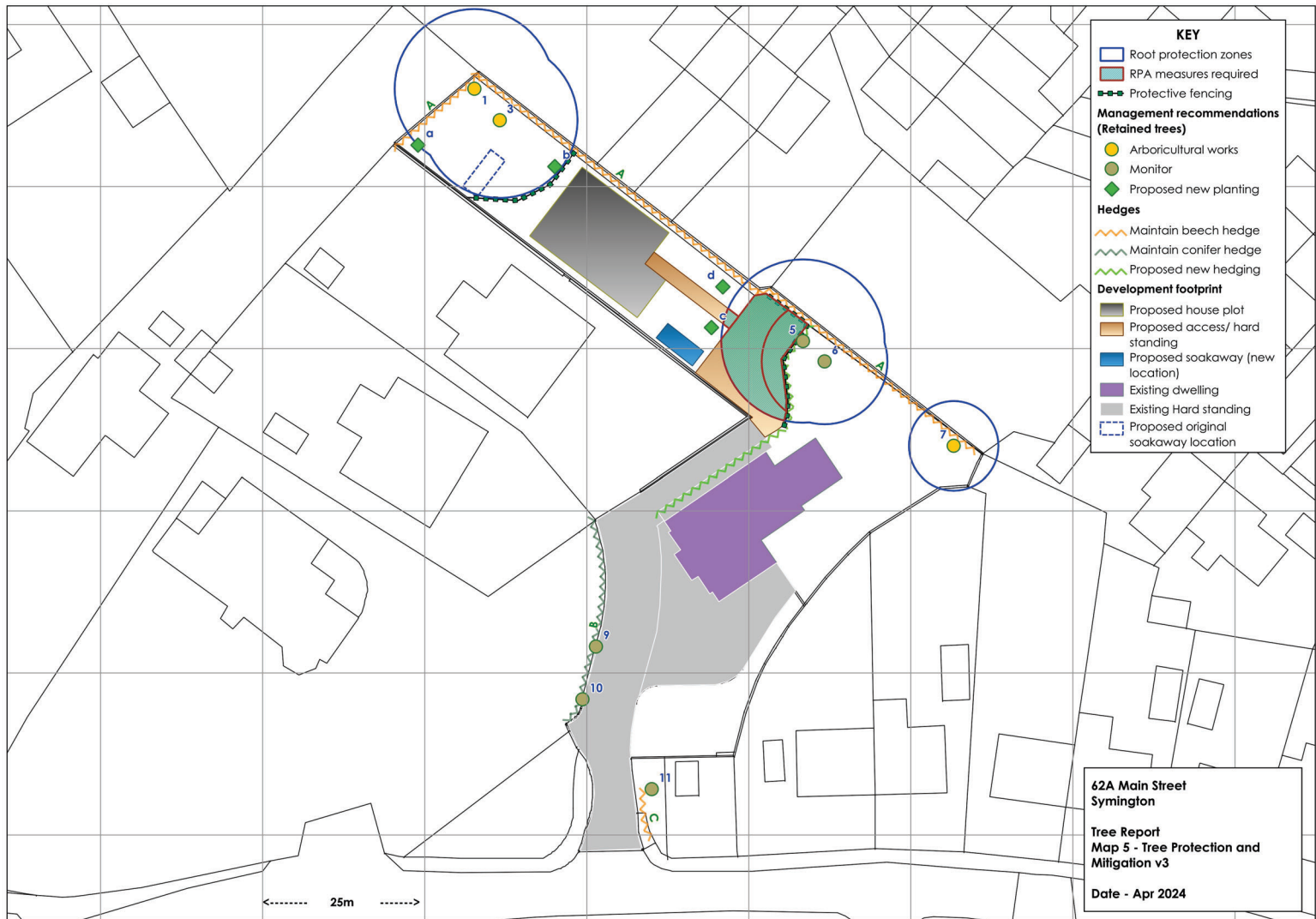
Location	Tree Ref No	Species	Height m	Stem Diam (cm)	Crown weight	Crown spread (m)	Crown Clearance	Age Class	Physiological condition	Description	Preliminary recommendations	Estd Remaining contribution (years)	Simple Mmt recommendations	BS Category Grading	RPA	RPA radius	Circle diam
Entrance road E (outwith of site)	11	Horse chestnut	16	60	W	8	5	M	Fair	Large branch fork at 4m to the east. Main stem forks to co-dominants at 5m and 7m. Stag-headed appearance to upper crown. Pruning wound at main for to the Sout-west. Next to electricity sub-station.	Monitor	20-40	Monitor	C			
East of existing house	12	n/a	3	~80	n/a	0	3	M	Dead	Totem with extensive basal rot	Fell to stump	n/a	Fell	U			
Hedge A	A	Beech	1- 1.2m	n/a	n/a	n/a	n/a	Y	Good	Recently planted beech hedging.	Maintain to desired height and allow to fill in	20-40	Regular puning to shape	B			
Hedge B	B	Western red cedar	9	n/a	n/a	n/a	n/a	SM	Good	Overgrown conifer hedging planted at 0.5m spacings along main driveway. Individual trees are overtall and hedge becoming unmanageable.	Recommend phased reduction of the hedge to reduce to manageable height.	20-40	Phased crown reduction	B			
Hedge C	C	Beech	1	n/a	n/a	n/a	n/a	Y	Good	Short section of beech hedging at entrance next to	Maintain to desired height and allow to fill in	20-40	Regular puning to shape	B			











Planning and Building Standards

Service Lead – Planning and Building Standards: Craig Iles

Planning Service, County Buildings, Wellington Square, Ayr, KA7 1DR
Tel: [REDACTED]
Email: [REDACTED]
Our Ref: 25/00545/APP
Date: 8 December 2025



Mr Graham Glen
per Ekotect
Jamie Reid
5 Broadwood Park
Alloway
Ayr
KA7 4XE

Dear Sir/Madam,

THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED)

PROPOSAL: Erection of dwellinghouse
SITE ADDRESS: 62A Main Street Symington South Ayrshire KA1 5QG

With reference to your Application for Planning Permission, I enclose a copy of the Decision Notice refusing permission. This Decision Notice should be read in conjunction with our [Guidance Note for Planning Decisions](#).

The refused drawings and other documents, where relevant, can be accessed from the [Council's website](#) by using the application reference number noted above. You may find the Report of Handling (otherwise entitled 'Delegated Report') of particular interest, as this sets out an assessment of the application and an explanation for the decision taken.

If you require further information in respect of your decision notice, please contact Dianne Lewis by telephoning [REDACTED] or by emailing [REDACTED]

Yours faithfully,

[REDACTED]

Craig Iles
Service Lead – Planning and Building Standards

Encs.

LOCAL DEVELOPMENT

**REFUSAL OF APPLICATION FOR PLANNING PERMISSION
(Delegated)**

Ref No: 25/00545/APP

SOUTH AYRSHIRE COUNCIL

**TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED)
TOWN AND COUNTRY PLANNING (GENERAL DEVELOPMENT) (SCOTLAND) ORDERS**

**To: Mr Graham Glen
per Ekotect
Jamie Reid
5 Broadwood Park
Alloway
Ayr
KA7 4XE**

With reference to your **Application for Planning Permission** dated **27th August 2025**, under the aforementioned Regulations, for the following development, viz:-

Erection of dwellinghouse

at: 62A Main Street Symington South Ayrshire KA1 5QG

South Ayrshire Council in exercise of their powers under the aforementioned Regulations hereby **refuse** the Application for Planning Permission for the said development in accordance with the following reasons as relative hereto and the particulars given in the application. The refused drawings and other documents, where relevant, can be accessed from the [Council's website](#) by using the application reference number noted above these and represent the refused scheme.

The reason(s) for the Council's decision are as follows:

NOTE: Reasons will be numbered and prefixed with an 'R'

- (1R) The proposed dwellinghouse is contrary to National Planning Framework 4 (NPF4) Policies 7 and 14; South Ayrshire Council's Local Development Plan 2 (LDP2) Strategic Policy 1: Sustainable Development, Strategic Policy 2: Development Management, Residential Policy within Settlements, Release Sites and Windfall Sites, Historic Environment policy; Historic Environment Policy for Scotland HEP2 and HEP4; Historic Environment Scotland's Managing Change documents on 'Setting' and 'New Design in Historic Settings'; and South Ayrshire Council's Historic Environment Planning Guidance. This is due to the proposed dwelling's height, scale, design, massing, and its close proximity to the northeastern and southwestern boundaries of the application site. The building would appear dominant, overbearing, and visually cramped within the narrow site. It would have an unacceptable impact on neighbouring properties, particularly Nos. 71-75 Brewlands Crescent. As a result, the development fails to preserve or enhance the setting, character and appearance of the Conservation Area.

List of Refused Plans:

Plan Type	Reference	Version No.	Received Date
Drawing	23.016.01		27.08.2025
Drawing	23.016.02 Rev C		27.08.2025
Drawing	23.016.04 Rev C		27.08.2025
Drawing	23.016.05 Rev C		27.08.2025
Drawing	23.016.10		27.08.2025
Drawing	23.016.11		27.08.2025
Drawing	23.016.12		27.08.2025
Drawing	23.016.13		27.08.2025
Drawing	23.016.14		27.08.2025
Drawing	23.016.15		27.08.2025
Drawing	23.016.20		27.08.2025
Drawing	23.016.21		27.08.2025
Drawing	23.016.22		27.08.2025
Drawing	23.016.23		27.08.2025
Drawing	23.016.30		27.08.2025
Drawing	23.016.31		27.08.2025
Drawing	23.016.32		27.08.2025
Drawing	23.016.33		27.08.2025
Drawing	23.016.34		27.08.2025
Supporting Information	DESIGN AND ACCESS STATEMENT		27.08.2025
Supporting Information	TREE SURVEY		27.08.2025

The explanation for reaching this view is set out in the Report of Handling and which forms a part of the Planning Register.

Dated: 5th December 2025



.....
Craig Iles
Service Lead – Planning and Building Standards

PLANNING SERVICE, COUNTY BUILDINGS, WELLINGTON SQUARE, AYR, KA7 1DR

NOTICE TO ACCOMPANY REFUSAL OR GRANT OF PERMISSION WITH CONDITIONS

TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED)

- (1) If the applicant is aggrieved by the decision of the Planning Authority to refuse permission for, or grant permission or approval subject to conditions, the applicant may require the Planning Authority to review the case under Section 43A of The Town and Country Planning (Scotland) Act 1997 within **three months** from the date of this notice. Information on how to request a review can be obtained from the address and contact details below.

A Notice of Review can be submitted via the [ePlanning Scotland website](#) . This is the most efficient method to submit a review request.

Alternatively, you can submit a review request via paper form addressed to:

South Ayrshire Council
Planning Service
County Buildings
Wellington Square
Ayr
KA7 1DR

T:

E:

W: www.south-ayrshire.gov.uk

- (2) If permission to develop land is refused or granted subject to conditions, the owner of the land claims that the land has become incapable of reasonably beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the Planning Authority a purchase notice requiring the purchase of his interest in the land in accordance with Part 5 of The Town and Country Planning (Scotland) Act 1997.
- (3) In certain circumstances, a claim may be made against the Planning Authority for compensation, where permission is refused or granted, subject to conditions by the Scottish Ministers. The circumstances in which such compensation is payable are set out in Section 77 of The Town and Country Planning (Scotland) Act 1997.
- (4) Where permission is being granted in respect of any building or premises which are open to the public, attention is hereby drawn to the applicant's duty, in terms of Sections 4, 5, and 7 to 8A of The Chronically Sick and Disabled Persons Act 1970, to include, where reasonable and practicable provision for the needs of the disabled. (Ref. Section 45 of The Town and Country Planning (Scotland) Act 1997).

Attention is also drawn to The Equality Act 2010 which may impose further obligations on developments.

From: [REDACTED]
Sent: Friday, August 29, 2025 12:00 PM
To: Planning Development [REDACTED]
Subject: Planning Consultation 25/00545/APP (OFFICIAL)

OFFICIAL

Dear Sir or Madam,

I refer to the above application for the erection of a house at 62A Main Street, Symington, which was sent through to us for comment on the 29th of August. I have downloaded details of the proposal from the Council's online planning system, and having compared these against information contained in the Historic Environment Record and with previous planning casework, I would like to make the following comments.

According to our casework log, I provided comments in December of 2024 in response to a previous application for the erection of a new house at 62A Main Street, this being planning reference 24/00867/APP. The house proposed under the current application would be located on the same plot of ground as this earlier proposal and would raise generally comparable issues in terms of its potential impact on the historic environment, and as a result, I would reiterate the comments made at that time. These were as follows:

"The new house proposed under this application would occupy a plot of ground that lies on the fringe of the Archaeological Consultation Trigger (ACT) that has been defined in our system in relation to the historic core of Symington. The settlement is likely to have developed around the church, which was founded in the 12th century, though it has been subject to substantial subsequent alteration, with many later additions. The church and its associated burial ground were depicted on Roy's Military Survey of Scotland, conducted in the period 1747-55, with buildings shown on the eastern, southern and western sides of this structure. To the north, a separate settlement group was shown, located in the area now shown as being occupied by Townend Terrace and Townend Lodge. On the 1st edition Ordnance Survey map of the mid 19th century, a farm named 'Townend' was shown in this area, which also depicted houses in the area between Townend and the church. These structures do not appear on the Roy map, suggesting a date of construction in the late 18th or early 19th century.

A farm named 'Lowhill' was depicted on the 1st edition around 100m to the east of the site of the proposed new house, but again, this structure was not shown on Roy, suggesting that it was also established in the improvement period, and does not occupy the site of an earlier medieval farm. It has been suggested that the place-name 'Lowhill' relates to the former present of a motte or law hill in the area; the New Statistical Account of 1845, for example, recorded that 'a round mound called the Law Hill, which was partly natural and partly artificial, formerly stood at the foot of Symington Village. It was levelled by the proprietor when making improvements; several iron arrowheads and horn combs were found'. While no visible trace of this mound now survives, its presence and the recorded discovery of various artefacts during its removal does suggest some potential for significant sub-surface archaeological material. However, the potential for construction of the house proposed under this application to encounter material of this type appears likely to be reasonably limited.

I am also aware that my former colleague, Paul Robins, provided comments in October of 2023 in response to a previous application for planning permission in principle for the erection of a new

house at 62A Main Street (planning reference 23/00683/PPP), in which he advised that he did not consider the potential for the development to encounter archaeological work to be high enough to warrant the attachment of a condition to any consent that the Council was minded to issue. As the current application would affect the same area of ground, I would therefore confirm that I would not consider archaeological work to be required in relation to the current application”.

Regards,

[REDACTED]



[REDACTED]
Historic Environment Records Officer
West of Scotland Archaeology Service
231 George Street, Glasgow, G1 1RX
email: [REDACTED]

Celebrate Glasgow's 850th birthday! Join us in marking this milestone at glasgow850.com

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Protective Marking

We are using protective marking software to mark all our electronic and paper information based on its content, and the level of security it needs when being shared, handled and stored. You should be aware of what these marks mean for you when information is shared with you:

1.OFFICIAL SENSITIVE (plus one of four sub categories: Personal Data, Commercial, Operational,

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2.OFFICIAL - this is information relating to the business of the council and is considered not to be particularly sensitive

3.NOT OFFICIAL – this is not information about the business of the council.

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Monday, 08 September 2025



Local Planner
Planning Service
South Ayrshire Council
Ayr
KA7 1UT

Development Operations
The Bridge
Buchanan Gate Business Park
Cumbernauld Road
Steps
Glasgow
G33 6FB

Development Operations
Freephone Number - [REDACTED]
E-Mail - [REDACTED]
www.scottishwater.co.uk



Dear Customer,

62A Main Street, Symington, KA1 5QG
Planning Ref: 25/00545/APP
Our Ref: DSCAS-0140068-TR8
Proposal: Erection of dwellinghouse

Please quote our reference in all future correspondence

Scottish Water has no objection to this planning application. The applicant should be aware that this does not confirm that the proposed development can currently be serviced.

Please read the following carefully as there may be further action required. Scottish Water would advise the following:

Water Capacity Assessment

- There is currently sufficient capacity in the Bradan Water Treatment Works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Waste Water Capacity Assessment

- There is currently sufficient capacity for a foul only connection in the Meadowhead Waste Water Treatment works to service your development. However, please note that further investigations may be required to be carried out once a formal application has been submitted to us.

Please Note

The applicant should be aware that we are unable to reserve capacity at our water and/or waste water treatment works. When planning permission has been granted and a formal connection application has been submitted, we will review the availability of capacity at that time and advise the applicant accordingly.

Surface Water

For reasons of sustainability and to protect our customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into our combined sewer system.

There may be limited exceptional circumstances where we would allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical, and technical challenges.

In order to avoid costs and delays where a surface water discharge to our combined sewer system is anticipated, the developer should refer to our guides which can be found at <https://www.scottishwater.co.uk/Help-and-Resources/Document-Hub/Business-and-Developers/Connecting-to-Our-Network> which detail our policy and processes to support the application process, evidence to support the intended drainage plan should be submitted at the technical application stage where we will assess this evidence in a robust manner and provide a decision that reflects the best option from environmental and customer perspectives.

Asset Impact Assessment

Scottish Water records indicate that there is live infrastructure in the proximity of your development area that may impact on existing Scottish Water assets.

The applicant must identify any potential conflicts with Scottish Water assets and contact our Asset Impact Team via our Customer Portal for an appraisal of the proposals.

The applicant should be aware that any conflict with assets identified will be subject to restrictions on proximity of construction. Please note the disclaimer at the end of this response.

Written permission must be obtained before any works are started within the area of our apparatus.

Next Steps:

Single house developments; unless utilising private water or drainage sources, are required to submit a Water Connection Application and Waste Water Application via our Customer Portal to allow us to fully appraise the proposals. Please note that Single House developments are not required to submit a Pre-Development Enquiry form (PDE) however local network capacity will be assessed on receipt of application forms.

Further information on our application and connection process for Single Household development can be found on our website <https://www.scottishwater.co.uk/Business-and-Developers/NEW-Connecting-to-Our-Network/Single-Household-Customers>

I trust the above is acceptable however if you require any further information regarding this matter, please contact me on [REDACTED] or via the e-mail address below or at [REDACTED]

Yours sincerely,

Angela Allison
Development Services Analyst
[REDACTED]

Scottish Water Disclaimer:

"It is important to note that the information on any such plan provided on Scottish Water's infrastructure, is for indicative purposes only and its accuracy cannot be relied upon. When the exact location and the nature of the infrastructure on the plan is a material requirement then you should undertake an appropriate site investigation to confirm its actual position in the ground and to determine if it is suitable for its intended purpose. By using the plan you agree that Scottish Water will not be liable for any loss, damage or costs caused by relying upon it or from carrying out any such site investigation."

Supplementary Guidance

- Scottish Water asset plans can be obtained from our appointed asset plan providers:
 - Site Investigation Services (UK) Ltd
 - Tel: [REDACTED]
 - Email: [REDACTED]
 - www.sisplan.co.uk
- Scottish Water's current minimum level of service for water pressure is 1.0 bar or 10m head at the customer's boundary internal outlet. Any property which cannot be adequately serviced from the available pressure may require private pumping arrangements to be installed, subject to compliance with Water Byelaws. If the developer wishes to enquire about Scottish Water's procedure for checking the water pressure in the area, then they should write to the Development Operations department at the above address.
- If the connection to the public sewer and/or water main requires to be laid through land out-with public ownership, the developer must provide evidence of formal approval from the affected landowner(s) by way of a deed of servitude.
- Scottish Water may only vest new water or waste water infrastructure which is to be laid through land out with public ownership where a Deed of Servitude has been obtained in our favour by the developer.

- The developer should also be aware that Scottish Water requires land title to the area of land where a pumping station and/or a Sustainable Drainage System (SUDS) proposed to vest in Scottish Water is constructed.
- Please find information on how to submit application to Scottish Water at our Customer Portal

From: [REDACTED]
Sent: 10 September 2025 12:09
To: Lewis, Dianne [REDACTED]
Subject: 25/00545/APP, 62A MAIN STREET SYMINGTON

Hi Dianne,

Further to the above consultation, I can advise as follows.

The red-line site is situated within Symington Conservation Area. Further to the submitted Tree Survey Report, there are 11 trees in total currently growing on the site that were surveyed. The mature trees are mostly between 15-20m high and contributing greatly to the local landscape.

Most trees in the Report were found to be in good or fair condition, with only two trees that were categorised as poor due to major defects and poor health.

Tree No 8, Ash tree, proposed to be felled: *due to ongoing issues and the likelihood of Ash dieback disease resulting in further issues*. I have no objections for the tree to be felled, however the applicant should replant the tree with species proposed in the Tree Survey.

Trees Nos 2 & 4, trees proposed to be felled to accommodate the development. Both trees are Cat C in the submitted Survey, with a life expectancy of 20-40 yrs. If the application is approved the applicant should carry out replacement planting on the basis 1:1 as per recommended species.

There are 3 trees where arboricultural works are recommended to be carried out, and another 5 trees that should be monitored. I have no objections to the proposed.

However, from the submitted maps it seems that the tree roots at trees **Nos 5 & 6** will be also impacted due to the access to the site, as well as the proposed permanent hard standing encroaching into the tree root areas. If the works are carried out, the total loss of trees would be greater than originally predicted, resulting in a reduction of the protected tree canopy coverage and the wildlife area. In that case the 4 trees proposed to be planted by the applicant in the submitted Tree Survey Report would not be sufficient to cover the loss.

Kind regards,
[REDACTED]

[REDACTED] | Development Officer (Design and Advice) | South Ayrshire Council | Place
Directorate | Operations Centre | Walker Road | Ayr | KA8 9LE | [REDACTED] |
[REDACTED]



Contact: [REDACTED]

ARA Case Officer: DC

Planning Case Officer: D Lewis

Planning Application No: 25/00545/APP

Location: 62A Main Street, Symington, South Ayrshire, KA1 5QG

Date Received: 28/08/2025

Date Returned: 04/11/2025

Recommendation: No Objection subject to Conditions

The following response has been prepared following a review of the information made available through South Ayrshire Council's Planning portal website at the time of writing.

Comments:

Advisory Notes:

Road Opening Permit:

That a Road Opening Permit shall be applied for, and obtained from the Council as Roads Authority, for any work within the public road limits, prior to works commencing on site.

Roads (Scotland) Act:

The Council as Roads Authority advises that all works on the carriageway to be carried out in accordance with the requirements of the Transport (Scotland) Act 2005 and the Roads (Scotland) Act 1984.

New Roads and Street Works Act 1991:

In order to comply with the requirements of the New Roads and Street Works Act 1991, all works carried out in association with the development on the public road network, including those involving the connection of any utility to the site, must be co-ordinated so as to minimise their disruptive impact. This co-ordination shall be undertaken by the developer and his contractors in liaison with the local roads authority and the relevant utility companies.

Costs of Street Furniture:

The Council as Roads Authority advises that any costs associated with the relocation of any street furniture shall require to be borne by the applicant / developer.

Conditions:

Discharge of Water:

That the discharge of water onto the public road carriageway shall be prevented by drainage or other means. Precise details and specifications of how this is to be achieved shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority) before any work commences on site.

Reason:

In the interest of road safety and to avoid the discharge of water onto the public road.

Parking Bay Dimensions:

That defined parking bays and associated aisle widths shall accord with the dimensions as set out within paragraphs 3.6.2 and 3.6.3 of the National Roads Development Guide publication, adopted for use by the Council.

Reason:

In the interest of road safety and to ensure that there is adequate space for manoeuvring and turning.

Off Road Parking Provision (Detailed Consent):

That a minimum of 2 off-road parking spaces shall be provided within the existing site boundary to satisfy provision levels as defined within the Council's adopted National Roads Development Guide. Details of parking layouts designed to comply with the guidance set out in the Council's National Roads Development Guide, and Designing Streets as National Policy, shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority).

Reason:

In the interest of road safety and to ensure adequate off-street parking provision.

Retention of Existing Off-Street Parking:

As the applicant proposes to construct a turning point adjacent to the existing property within land under their control then the applicant shall ensure the existing off-road parking provision shall be retained within the curtilage of the donor property.

Reason:

In the interest of road safety and to ensure adequate off-street parking provision.

Turning Areas (Detailed Consent):

That plans, supplemented by swept path analysis of the largest vehicle type reasonably expected to be serving the development, shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority), and shall require to accord with paragraph 3.1.3 of the Council's National Roads Development Guide. The turning areas shall be constructed, as approved, prior to completion of the development.

Reason:

To reasonably avert the reversing of vehicles onto the main road, and in the interests of road safety.

Bin Collection Points:

That designated bin collection points shall be located a maximum of 15 metres from the public carriageway, before occupation of the development. Details and specification of the siting and design of bin collection points shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority) before any work commences on site.

Reason:

In the interests of road safety.

Emergency Vehicle Access

That the shared access shall be a minimum of 3.7m wide Kerb to kerb for operating space in the event of a fire. Plans, supplemented by swept path analysis, shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority), to show in the event of a fire emergency services can operate within 45m of all points within the dwelling.

Reason:

In the interest of road safety and to ensure that there is adequate space for manoeuvring and turning.

Mr David Murray
75 Brewlands Crescent
Symington
Ayrshire
KA1 5RN

Planning and Building Standards
South Ayrshire Council
County Buildings, Wellington Square
Ayr, KA7 1DR

Date: 8 September 2025

Re: Objection to Planning Application Ref [25/00545/APP] – [62A Main Street, Symington, South Ayrshire KA1 5QG]

Dear Sir/Madam,

As the owner/resident of 75 Brewlands Crescent, Symington, Ayrshire KA1 5RN, I am writing to formally object to the above planning application. My objection is based on the following grounds:

1. Proximity and Overdevelopment

The proposed dwelling is sited too close to my property boundary, creating an undue sense of enclosure and altering the established spatial character of the neighbourhood. This is at odds with the principles set out in Local Development Plan 2 (LDP2), which guide development to respect existing building layouts and spacing to maintain character and residential amenity. “Right development in the right place, at the right time”.

2. Loss of Privacy and Overshadowing

Due to its close proximity and orientation, the development would overlook key areas of my home—including [e.g. garden, windows of living areas]—resulting in a substantial intrusion of privacy. The positioning and mass of the proposal would also significantly reduce natural light, especially during [morning/afternoon], impacting my residential amenity.

3. Residential Amenity and Sense of Place

The Council's recent refusal of proposals in Doonfoot ([Ayr: South Ayrshire Council rules on plans for luxury homes | Ayr Advertiser](#)) for similar reasons underscores the importance of preserving residential amenity and character. In that case, planners determined that nearby properties would be "adversely impacted" by enclosure, loss of outlook, and privacy. Such considerations are material to the current application and should weigh against approval of this proposal. The development, as currently proposed, would adversely affect the enjoyment and practical use of both my home and garden. The absence of an adequate buffer zone between properties has the potential to lead to increased noise transmission, overshadowing, and a diminution of overall residential amenity.

4. Conflict with Supplementary Planning Guidance

The Council's Supplementary Planning Guidance: Housing Site Design Briefs (adopted under LDP2) is a material consideration and carries weight in assessing new applications. It emphasises well-designed layouts, appropriate spacing, and homes that positively integrate with their surroundings. The current proposal does not appear to have due regard for these expectations.

5. Material Considerations and Local Development Framework

Under Section 21 of the Planning (Scotland) Act, South Ayrshire Council is bound to make decisions in accordance with the Local Development Plan, unless there are overriding material considerations. This includes not only LDP2 but also Council-specific guidance—particularly where a proposal undermines the residential quality and established form.

Request for Action

Considering the above, I respectfully request that the Council:

Refuse planning permission, on the grounds that the proposal adversely impacts residential amenity, privacy, light, and character.

Please confirm receipt of this objection and keep me informed of any decisions or opportunities to contribute further.

Yours faithfully,

[Redacted]

David Murray *[Signature]*

75 Brewlands Crescent

Symington

Ayrshire, KA1 5RN

[Redacted]

Comments for Planning Application 25/00545/APP

Application Summary

Application Number: 25/00545/APP

Address: 62A Main Street Symington South Ayrshire KA1 5QG

Proposal: Erection of dwellinghouse

Case Officer: Dianne Lewis

Customer Details

Name: Mr john mulholland

Address: 4 townend terrace symington ka15qh

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: In objection to this proposal I wish to make quite clear the duties of South Ayrshire Council (SAC) in respect of the Symington Conservation Area (SCA) are quite clear and most definitely a material consideration to be addressed by the Planner..

"Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997

64. General duty as respects conservation areas in exercise of planning functions.

(1) In the exercise, with respect to any buildings or other land in a conservation area, of any powers under any of the provisions in subsection (2)

(2) Special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area."

I attach parts of a South Ayrshire Council response to Jayne Hollas at the DPEA from Jill Cronin (Head of Community, Enterprise and Development 16th January 2014 in regard to development in and around the Symington Conservation Area, especially in the vicinity of Townend Cottage. Supervisory Planner Robert Orr (SAC) determined that piecemeal private development in and around Townend Cottage had compromised Symington Conservation Area (SCA).

His comments are as true today as when he made them and remain a material consideration regardless of any subsequent development. The Act contains no section (3) absolving planners from their general duties. This particular development represents continued compromise of the Symington Conservation Area as identified by South Ayrshire Council in 2014 and detailed below

- Mr Orr has this to say about Townend Cottage conservation status, "significantly compromised over the last twenty or thirty years",

- Of the Conservation Area, "It is interesting to note that "Townend Cottage's semi-rural setting on the NW edge of the village has been significantly compromised over the last twenty or thirty years to the point at which there is not much setting left to protect,".
- After the word protect was a comma and these words, 'the walled garden amenity woodland and later tennis courts having succumbed to private housing development. Small scale, piecemeal developments over the last twenty or so years have done little to enhance it, serving only to create a sense that the village is petering out, at this point, rather than terminating'.

For any SAC decision to be lawful it will have to pay Special attention to preserving or enhancing the character of the SCA rather than downgrading the significance of the Conservation Area. The shape or size of any development within or around the conservation area is not a material consideration and does not absolve SAC from compliance with the Act. As this proposal within the Conservation Area includes the felling of mature trees, regardless of condition, it neither preserves nor enhances the Conservation Area and it should be rejected on that basis alone. Quite apart from the fact the proposed building has no features that can be truthfully described as enhancing or preserving the character of the listed Townend Cottage nearby

From: [REDACTED]
To: [Planning Development](#)
Cc: [Lewis, Dianne](#)
Subject: Planning Applications 25/00545/APP and 25/00546/TWA
Date: 30 September 2025 11:05:06
Attachments: [Planning Objection 62A Main St.docx](#)

Dear Dianne,

Please find attached objection to the above Planning Applications on behalf of Symington Community Council.

Thanks and regards

[REDACTED]
Planning Contact
Symington Community Council

Symington Community Council

29th September 2025

Application Reference Number – Ref No: 25/00545/APP

Application Location: 62A Main Street Symington South Ayrshire KA1 5QG

Application Proposal: Erection of dwellinghouse

Application Reference Number – Ref No: 25/00546/TWA

Application Location: 62A Main Street Symington South Ayrshire KA1 5QG

Application Proposal: Tree works application for the felling of 4 trees

Dear Sirs,

With reference to the above applications, which we have been advised by the Planning Department will be decided under one application, Symington Community Council would like to submit the following on behalf of the community who object to the proposals.

With regard to **Ref: 25/00546/TWA** for the felling of 4 trees. The tree survey report carried out by Walker Hines Woodland Services, states that 4 trees require to be felled. Tree no.4 a large mature Sycamore and tree no.2 a large mature Beach are to be felled to accommodate the proposal. Tree no.8 a large mature Ash, due to its possible future deterioration to be felled and tree no.12 which is dead to be felled.

The 3 trees excluding the dead tree have been assessed as having a life expectancy of between 10 to 40 years. From Map 1- existing features, the trees have been identified as being in good to fair condition. It is proposed that these 18 – 20 meter high mature trees be replaced by a Plumb, Apple, Birch and Hawthorn of between 1.5 and 2 meters in height which is said to be more appropriate for the site as a small garden setting . The mature trees formed part of the grounds of the main house, hence it is not the trees that are the problem rather the number of houses being built in the grounds.

These trees are within the Conservation Area. Three are identified as mature and in good to fair condition with many years life expectancy. To fell these solely to accommodate a new build that there is no identified need for, would be contrary to Scottish Planning Policy:-

NPF4 - Policy 6

b) Development proposals will **not be supported** where they will result in:

i. Any loss of ancient woodlands, ancient and **veteran trees**, or adverse impact on their ecological condition.

This proposal will not only affect those trees to be felled but may also have a detrimental impact on those that remain during the build.

LDP2 Policy: Preserving Trees. The guidance states, “when assessing proposals for development that might involve loss of, or work to trees, we will consider how much it would affect the local area and will take measures to protect trees, especially those covered by a provisional or confirmed Tree Preservation Order. Ancient and veteran trees of high nature conservation and landscape value will be protected”.

These trees although not covered by a TPO, do form part of the landscape of the conservation area as they can be seen from the Main St, and to fell them would be detrimental to the character of the area to a say nothing of the environmental impact. The suggested replanting of 1.5 to 2 meter trees and the erection of a couple of bird boxes and a bat box does not mitigate the destruction of large mature trees.

With regard to **Ref: : 25/00545/APP** for the erection of a dwelling house.

This proposal is not sympathetic to the character of the conservation area of Symington and contravenes the follow policies -

LDP 2 - Historic Environment Conservation Areas:

“New development should preserve and enhance the character and appearance of South Ayrshire's conservation areas and their settings. This should include the appropriate layout, design, materials, scale and siting of development affecting buildings and structures located within a Conservation Area”.

NPF4 Policy 7:

Para D) Development proposals in or affecting conservation areas will only be supported where the character and appearance of the conservation area and its setting is preserved or enhanced. Relevant considerations include the:

- i. architectural and historic character of the area;
- ii. existing density, built form and layout; and
- iii. context and siting, quality of design and suitable materials.

Para E) Development proposals in conservation areas will ensure that existing natural and built features which contribute to the character of the conservation area and its setting, including structures, boundary walls, railings, trees and hedges, are retained.

Ekotect’s Design and Access Statement – Location - states “this is a gap site”.

This clearly is not a gap site, it is the back garden of 62A.

Ekotect’s Design & Access Statement – Ecology – states “the proposed development relates to the construction of a single dwelling within the garden grounds of an existing residential property”.

This is contradictory to the above statement that this is a gap site.

Ekotect’s Design & Access Statement - Immediate Context – states “the site lies within Troon’s conservation area, however the property is not listed and the immediate surrounding context varies widely”.

The proposed dwelling is within the conservation area of Symington, however the pictures shown as examples of house type and material do not all sit within the conservation area and hence are misleading.

Ekotect's Design & Access Statement - Materiality – states “ The material palette is that of a modern oak-framed villa, which will complement the existing conservation area”.

The definition of a conservation area: “An area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance”. This proposal will do neither. The upcoming Symington LPP and Community Action Plan highlights the community concerns of the erosion of the Main St conservation area through poor planning decisions of the past.

Ekotect's Design & Access Statement – Heritage Statement – states “The application site contains a B listed boundary wall” .

As the proposed dwelling will be set back approximately 1 meter from the wall, how can they ensure the wall will be “fully preserved”? They advise this will be achieved by erecting a protective fence and construction activities being managed to avoid accidental damage. With so little space how can this realistically be achieved?

Ekotect's Design & Access Statement – Swept Path Analysis – states “we have now demonstrated 2 potential points of access for fire engines to access to be able to reach the furthest point of the proposed dwelling within 45m, as shown on drawing 23.016.20. Of these 2 means of access, point 1 falls within the wider blue line boundary of the client”.

As the applicant now appears to have conceded that there is no acceptable access for fire service vehicles, then the feasibility of their proposed solution to station emergency vehicles outside the boundaries of the property in the event of fire requires to be checked with the fire department.

To conclude Scottish Planning Policy aims to have the right development in the right place. This proposal does not adhere to this principle.

The proposals also do not adhere to LDP 2 or NPF4 guidance. Based on this Symington Community Council objects to both applications and would hope that SAC refuse this planning application.

Symington Community Council

PLANNING APPLICATION OBJECTION.

62A Main Street, Symington, South Ayrshire, KA1 5QG.

Mr & Mrs A. Parker
64 Main Street
Symington
South Ayrshire.KA1 5QG.

1. The elevated height of this proposed building will overshadow my dwelling house and the too close proximity of it to the boundary stone wall and my property is unacceptable. Consequently the side elevation will completely overshadow my lounge window and considerably reduce the natural light within.
2. I will lose all privacy at the rear of my dwelling house. The upstairs entertainment space and balcony of the proposed dwelling will overlook my rear garden and directly into my main living area which is unacceptable.
3. The new proposed access road will be immediately adjacent to the boundary wall which was recently repointed on my side at considerable expense as it was in a fragile state. Any movement of traffic in the very close vicinity, which will undoubtedly be the case, will have an adverse affect on the structure.
4. Exiting from my property to the main road will be hazardous as I will not have a clear view on my left due to the existing high wall.
5. During the year large mature trees were felled from the proposed development site and that caused unnecessary stress.

7. I strongly object to this proposed high elevation dwelling house at such close proximity to my property.
8. THE SIDE ELEVATION EXCEEDS THE LENGTH OF OUR HOUSE BOTH BACK AND FRONT AND SHALL OVERSHADOW OUR PROPERTY.
9. BEFORE PURCHASING A SUITABLE PROPERTY, IT TOOK MORE THAN 2 YEARS TO FIND ONE WITH COMPLETE PRIVACY FOR RETIREMENT AS WE WERE MOVING FROM A COUNTRY LOCATION AND PRIVACY WAS AN ABSOLUTE NECESSITY.
10. THERE ARE NO FOUNDATIONS TO THE STONE BOUNDARY WALL AND ANY SERVICE LORRIES WILL CAUSE SUBSIDENCE TO THE STRUCTURE.
11. ANOTHER TREE WILL NEED TO BE FELLED IN ORDER TO GAIN ACCESS TO THE BUILDING SITE.

Comments for Planning Application 25/00545/APP

Application Summary

Application Number: 25/00545/APP

Address: 62A Main Street Symington South Ayrshire KA1 5QG

Proposal: Erection of dwellinghouse

Case Officer: Dianne Lewis

Customer Details

Name: Mr Josh Pope

Address: 73 Brewlands Crescent Symington KA1 5RN

Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Another planning application put forward and again a rejection from my side of the hedge - literally. As before it looks to be a similar application going by the plans, my biggest problem is that my renovated garden decking area will now receive little to no sunlight from this proposed 1 story high building. It sits directly opposite our dividing hedge which I can only assume will block the majority of the sunlight coming onto our decked garden area. In addition, we had moved to the area knowing we are going to be having a child able to run in a garden enjoying the weather. This now seems to not be the case and if there was already a property built on the other side of the hedge we would have reconsidered our purchase. As a flight enthusiast we enjoy the comfort of viewing different aeroplanes from our kitchen and also garden, yet with the proposed development our view is now completely blocked. Again as previously mentioned another reason we decided to purchase this property (its the small things that matter). If this had been a single level development I'd perhaps not have much of a problem, yet a large 1 story development is a different story as it will also have the potential issues of additional levels of noise directly from my garden.

From: [REDACTED]

Sent: 23 February 2026 08:43

To: Local Review Body [REDACTED]

Subject: Re: Applicant 25/00545/APP

Good morning,

If this could also be added ontop of my previous statement that would be much appreciated:

Dear Sir/ Madame,

I wish to add further areas of objection ontop of my previously submitted letters relating to this development. As this has been rejected on 2 basis now, I find it ludicrous an appeal has been submitted despite ongoing objections from multiple parties. When I purchased my property in 2023 it was on the basis I had a beautiful view from the kitchen, natural sunlight was able to hit the garden and as a novice plane enthusiast I was able to view different aircraft from the comfort of my own home. In addition, thousands of pounds worth of garden renovations are now at risk of being for nothing if this development was to take place, as I had previously mentioned a development of this size is going to foreshadow a large proportion of my garden taking away the benefits of what I intend to use it for in the summer months; while also rendering my current renovations obsolete.

I continue to appeal the decision of granting the applicant authority to continue this renovation as if this is to go ahead, a dedicated village homeowner will have no other option but to sell up and relocate. This, and also the fact the value of my property will inevitably depreciate as we would now have a large development overlooking the garden. I hope you come to the correct conclusion regarding this matter.

Sincerely,

Mr Pope

73 Brewlands Crescent.



On Behalf of South Ayrshire Council
A response from ARA Development Control

Local Review Body Response

ARA Case Officer: ■■■

Planning Application No: 25/00545/APP

Location: 62A Main Street, Symington, KA1 5QG

Issue Date: 23/02/2026

ARA Position:

The ARA have no further comment to make – our recommendation remains as per our original consultation response.

LRB/25/00545/APP - Interested Party Comments received on 2 March 2026

From: [REDACTED]

Sent: 02 March 2026 12:15

[REDACTED]

Subject: Fwd: LRB/25/00545/APP - 62A Main Street, Symington

From: [REDACTED]

Date: 2 March 2026 at 12:08:28 GMT

To: [REDACTED]

Subject: Re: LRB/25/00545/APP - 62A Main Street, Symington

Good afternoon

Please find attached response for consideration at the forthcoming Local Review Body meeting in relation to the above planning application. I request this letter is given full consideration by the panel.

I look forward to hearing from you in due course.

Regards

David Murray

Please find attached

Mr David Murray
75 Brewlands Crescent
Symington
Ayrshire
KA1 5RN
Email [REDACTED]

South Ayrshire Local Review Body
Planning and Building Standards
South Ayrshire Council
County Buildings, Wellington Square
Ayr, KA7 1DR
Date: 2 March 2026

Dear Members of the Local Review Body,

Re: Planning Application Ref 25/00545/APP
Site: 62A Main Street, Symington, South Ayrshire KA1 5QG

I write in response to the Notice of Review submitted in respect of the above application. I remain firmly opposed to the proposal and respectfully request that the Local Review Body upholds the original refusal decision.

I am the owner and resident of 75 Brewlands Crescent, immediately adjacent to the application site, and therefore directly affected by the proposal.

1. Development Plan Primacy and Policy Conflict

Under Section 25 of the Town and Country Planning (Scotland) Act 1997, planning decisions must be made in accordance with the Development Plan unless material considerations indicate otherwise. No new material considerations have been advanced within the review submission that justify departure from the Development Plan.

The proposal conflicts with Local Development Plan 2 (LDP2) policies relating to:

- Protection of residential amenity
- Respect for established settlement pattern and character
- Appropriate siting, scale, and spacing

The development fails to reflect the established spatial structure of this part of Symington, where properties benefit from meaningful separation distances that safeguard privacy, outlook, and daylight.

2. Unacceptable Impact on Residential Amenity

The siting of the proposed dwelling, in close proximity to my boundary, would create:

- A pronounced sense of enclosure
- Material loss of privacy through direct and perceived overlooking
- Reduction in natural daylight, particularly during afternoon and early evening periods

The cumulative impact of height, massing, and orientation would significantly diminish the enjoyment and reasonable use of both my dwelling and private garden.

Scottish planning policy consistently recognises that protection of neighbouring amenity is a core consideration. The relationship proposed here falls short of what would reasonably be expected in an established residential area.

3. Overdevelopment and Settlement Character

The proposal represents overdevelopment of the plot. The reduced spacing and compressed layout would erode the prevailing character of the area and introduce a visually dominant built form.

The established pattern along this part of Symington is not one of tightly arranged dwellings. Introducing a dwelling at the proposed proximity would materially alter the character of the immediate environment and undermine the integrity of the surrounding layout.

Allowing such development risks setting an undesirable precedent for incremental erosion of spacing standards and amenity safeguards.

4. Supplementary Guidance as a Material Consideration

The Council's Supplementary Planning Guidance on Housing Site Design Briefs remains a material consideration. It emphasises:

- High-quality layout and design
- Respect for surrounding context
- Protection of neighbouring residential amenity

The proposal does not demonstrate adequate compliance with these principles, particularly in relation to spacing and integration.

5. No Justification for Departing from Refusal

The review submission does not introduce new technical evidence, amended plans, or mitigation measures sufficient to overcome the original reasons for refusal.

In the absence of compelling material considerations, the statutory presumption in favour of the Development Plan must prevail.

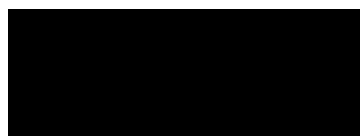
Conclusion


For the reasons outlined above, I respectfully request that the Local Review Body upholds the original refusal decision issued by South Ayrshire Council.

The proposal would result in demonstrable and unacceptable harm to residential amenity, privacy, daylight, and established character, contrary to the Development Plan and material guidance.

I trust that the Review Body will give full weight to these considerations.

Yours faithfully,



David Murray
75 Brewlands Crescent
Symington
Ayrshire
KA1 5RN
Email: 

From: [REDACTED]
Sent: 05 March 2026 13:48
To: Local Review Body [REDACTED]
Subject: LRB - 62A Main Street, Symington - Officer's response
Importance: High

Dear LRB,

Please find below a short statement in response to the appeal submission, officer site photos, Report of Handling and draft conditions and reasons should the LRB overturn the officer's decision. Please confirm receipt when you are able to do so.

The Council's assessment, as set out in the Report of Handling, clearly establishes that Planning Permission in Principle for a dwellinghouse at 62A Main Street, Symington was granted subject to a number of specific conditions. These conditions explicitly require that any subsequent proposal must not exceed 1.5 storeys in height, must avoid habitable windows on the side elevations, and must limit any forward projection beyond 64 Main Street to a modest feature such as a porch. These requirements were imposed to protect the amenity of neighbouring properties, to ensure that any dwelling on this narrow and highly constrained plot remains modest in scale, and to safeguard the character and setting of the conservation area. The applicant was advised to take these conditions into account when preparing the detailed application.

The proposal now under review fails to meet these expectations. The design, height, scale and massing of the dwellinghouse are excessive for the plot, resulting in a development that would appear dominant, overbearing, and visually cramped. Its siting—approximately 1.3 metres from the mutual boundaries with Nos. 71–75 Brewlands Crescent—would give rise to an unacceptable and avoidable impact on the residential amenity of these neighbouring properties.

While it is accepted that new development within a conservation area need not replicate existing buildings, it must demonstrably respect, enhance, and contribute positively to the area's established character. The conditions attached to Planning Permission in Principle 23/00683/PPP provide a clear and relevant benchmark for what is appropriate on this site. Given the site's inherent constraints—being a narrow strip of garden ground enclosed by 64 Main Street, the terraced properties at 71–77 Brewlands Crescent, and the donor dwellinghouse—adherence to these conditions is essential. The current proposal does not do so.

The central issue for the Local Review Body is therefore whether a dwellinghouse of this design, scale, height, and massing can be accommodated on such a restricted plot without causing demonstrable harm to neighbouring properties and surrounding locale/conservation area. The Planning Service maintains that it cannot. As detailed in the Report of Handling, the proposed dwellinghouse is simply too large for the site and would result in significant adverse impacts. The proposed dwellinghouse is not considered to integrate well within the surrounding area.

Each planning application must be determined on its own merits, and the Planning Service is obliged to assess the proposal actually submitted—not any alternative design referenced in supporting material. Nevertheless, the Planning Service highlighted, for the applicant's benefit, that the modest scale and proportions of the original donor house at 62A Main Street

would represent a far more appropriate model for development on this plot. This guidance was offered to assist the applicant in understanding the scale of development that could reasonably be supported given the concerns with the previously submitted planning application which was withdrawn following discussions with the Planning Service (Ref: 24/00867/APP).

It is also necessary to emphasise that the example cited at Dyke Farm (25/00796/APP) is wholly irrelevant to the present case. That decision relates to a dwelling in a rural location, where the policy context, material considerations, and site characteristics differ fundamentally from those applicable to a proposal within a defined settlement and a conservation area. There are no meaningful similarities between the two cases, and no valid comparison can be drawn.

Thank you.
Regards,
Dianne

Dianne Lewis | [REDACTED] | Housing, Operations and
Development Directorate | [REDACTED]
South Ayrshire Council | County Buildings, Wellington Square, Ayr KA7 1DR | www.south-ayrshire.gov.uk

Dianne Lewis | [REDACTED] Buidheann-stiùiridh Taigheadais, Obrachaidhean
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Àir KA7 1DR | www.south-airshire.gov.uk



LRB – OFFICER SITE PHOTOS

25/00545/APP

62A MAIN STREET, SYMINGTON

Photo from shared access road off of Main Street - shared with No.64, 66 and 62A Main Street, Symington (donor dwellinghouse)



Access to proposed house. Photo taken from front garden of No.64 Main Street sandwiched between donor property.



Photos from application site looking back towards donor property showing narrow width of plot



Photo from application site showing mutual boundary with neighbouring properties at 71-77
Brewlands Crescent – Proposed house to be sited approximately 1.3 metres from this boundary
immediately adjacent to bottom of gardens



From application site looking towards houses at
77, 75 Brewlands Crescent



Photo showing application site sandwiched
between properties at Brewlands Crescent
and gable of 64 Main Street to the left of
photo





Photo taken from donor house garden showing width of narrow site sandwiched between 64 Main Street and 71-75 Brewlands Crescent

No 66 and 64 Main Street situated behind listed boundary wall. Caravan is where access to proposed dwellinghouse is to be taken



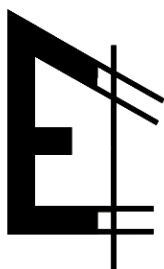


From front garden



From rear Garden

Photo from rear and front garden of neighbouring property at no.64 Main Street where proposed house is sited immediately beyond the listed wall



EKOTECT

NOTICE OF REVIEW

Applicant Response to Case Officer Comments and Interested
Party Representations

Planning Application Ref: 25/00545/APP

Proposed Dwellinghouse

Land to the Rear of 62A Main Street

Symington

KA1 5QG

Client

Mr G. Glen.

Client: Mr G. Glen

62A Main Street

Symington

KA1 5QG

Agent: Ekotect Ltd

5 Broadwood Park

Ayr

KA7 4XE

Introduction

This submission responds to the Case Officer comments and interested party representations received during the Local Review Body process. It seeks to clarify several matters of fact and planning judgement which are relevant to the central question before the Review Body, namely whether the detailed proposal represents a **reasonable and proportionate implementation of the Planning Permission in Principle already granted for the site.**

The applicant respectfully maintains that the proposal represents an appropriate and carefully considered response to the site constraints and surrounding context, and that the concerns raised by the Planning Authority largely arise from subjective interpretation of scale rather than demonstrable planning harm.

Contextual Height and Relationship to Surrounding Development

A key theme within the Case Officer's comments is the assertion that the proposed dwelling's ridge height of approximately **8.15 metres** is comparable to that of a typical two-storey dwelling.

However, this interpretation does not fully reflect the surrounding built context. The properties located immediately to the north-east at Brewlands Crescent are conventional **two-storey dwellings and are noticeably taller in overall wall height than the proposed dwelling.**

The only property of materially lower height is the donor dwelling at **62A Main Street**, which is a modest single-storey building located over **25 metres away** from the proposed dwelling and positioned around a bend within the site. As a result, only a small portion of this building is visible from the application site, under existing conditions without the additional screening proposed as part of the development.

In this context, the proposed dwelling sits comfortably within the broader scale of development in the surrounding area.

The comparative section drawings submitted with the application clearly illustrate the height relationship between the proposed dwelling and neighbouring properties, demonstrating that the Brewlands Crescent houses remain the visually dominant built form within the immediate context.

Interpretation of the 1.5 Storey Condition

Planning Permission in Principle established that any dwelling constructed on the site should not exceed **one-and-a-half storeys**.

However, neither the Case Officer comments nor the Report of Handling provide a **clear or measurable definition** of what constitutes a 1.5 storey dwelling. There is no formal definition within National Planning Framework 4, the South Ayrshire Local Development Plan, or associated supplementary guidance.

In architectural terms, a 1.5 storey dwelling is typically characterised by:

- upper accommodation contained largely within the roof form
- reduced eaves height
- a roof-dominant elevation rather than a full second-storey wall

The submitted proposal clearly follows this approach. The dwelling adopts a **roof-dominant form with an eaves height of approximately 4.2 metres**, with the upper accommodation contained within the roof structure rather than presented as a full two-storey elevation.

The Case Officer's assessment places significant emphasis on ridge height while giving limited consideration to the reduced wall height and roof form that define the architectural character of a one-and-a-half storey dwelling.

Architectural Form and Perceived Building Mass

Perceived building dominance is influenced primarily by **vertical wall height and mass**, rather than overall ridge height alone.

The submitted design limits the vertical wall height through the use of a roof-dominant form, allowing the roof slopes to visually reduce the building mass above the eaves level. This approach results in a significantly lower wall height than would typically be associated with a conventional two-storey dwelling.

By limiting the wall head height and allowing the roof to slope away above this level, the design intentionally moderates the visual mass of the building and reflects the architectural principles commonly associated with one-and-a-half storey houses.

Consistency of Interpretation

The applicant previously referenced Planning Application **25/00796/APP at Dyke Farm**, which was described and accepted as a **1.5 storey dwelling** despite exhibiting both a greater ridge height and greater vertical wall height than the appeal proposal.

The Case Officer response dismisses this comparison on the basis that the development is located in a rural setting. However, the purpose of this comparison was not to suggest that the sites were identical, but rather to illustrate how the Planning Authority has **interpreted the term "1.5 storey" in practice**.

The example demonstrates that the Planning Authority has accepted dwellings described as "1.5 storey" which exhibit **greater vertical scale and wall height than the appeal proposal**.

This highlights the absence of a clear and consistently applied definition and reinforces the appellant's position that the current refusal relies upon an **undefined and subjective interpretation** of storey height.

Amenity Impact on Brewlands Crescent

The Planning Service asserts that the proposal would appear visually dominant and overbearing when viewed from properties at Brewlands Crescent.

However, several important contextual factors are not fully reflected in the officer's assessment.

Firstly, the separation distance between the proposed dwelling and the neighbouring properties is **over 16 metres wall-to-wall**, which exceeds typical residential separation distances found in many urban environments.

Secondly, the boundary between the application site and Brewlands Crescent is defined by an **established hedge which currently provides substantial screening**.

The officer photographs appear to focus on **isolated lower sections or gaps within the hedge**, and were taken during **winter conditions when vegetation coverage is naturally reduced**. These images therefore represent a temporary condition rather than the typical level of screening present for the majority of the year.

It should also be noted that hedge maintenance and supplementary screening can be enhanced where required, further reducing visibility.

It is therefore not accurate to assess the visual relationship between the proposal and neighbouring properties on the basis of temporary winter visibility or isolated gaps in boundary vegetation.

Daylight and Sunlight Considerations

Interested party representations have suggested that the proposal would result in a loss of natural sunlight to neighbouring properties at Brewlands Crescent. However, this concern was not identified by the Planning Authority as a reason for refusal and is not supported by the physical relationship between the properties.

The orientation of the site means that the Brewlands Crescent properties lie to the north-west of the proposed dwelling. As a result, these properties will continue to receive mid-

day and afternoon sunlight from the south and west regardless of the proposed development.

The design of the dwelling has also been carefully considered in this regard. The roof ridge has been positioned off-centre within the building footprint and closer to the boundary with No. 64 Main Street. This arrangement reduces the wall height facing Brewlands Crescent and positions the longer roof slope away from that boundary, thereby minimising any potential overshadowing.

It is also relevant to note that until recently a mature beech tree was located along the site boundary. This tree was significantly larger in scale than the proposed dwelling and historically cast a far greater degree of shade towards the Brewlands Crescent properties. The tree was recently removed by the landowner due to safety concerns after it became diseased and structurally compromised.

As part of the ongoing management of the site, replacement tree planting will be undertaken in accordance with the approved tree works. This planting will ensure that the landscape character of the boundary is maintained over time while allowing appropriate development of the site.

In comparison to the former presence of the tree, the proposed dwelling would represent a substantially reduced obstruction to daylight and sunlight.

Taking account of the orientation of the site, the reduced wall height along the Brewlands Crescent boundary and the roof form adopted within the design, the proposal would not give rise to any material loss of sunlight to neighbouring properties.

Relationship with No. 64 Main Street and the Established Building Line

The proposal was designed to follow the stepped building line established between Nos. 64 and 66 Main Street. This approach reflects the existing spatial pattern along the rear boundary of these properties.

The Report of Handling acknowledges that the proposed projection relative to No. 64 Main Street **does not give rise to impacts that would justify refusal**. This confirms

that the relationship between the proposed dwelling and the neighbouring property has been appropriately resolved through the submitted design.

The boundary between the properties is also defined by a substantial stone wall which provides a clear visual separation between the plots.

Comparative Impact of Alternative Development Forms

The Planning Authority suggests that a smaller dwelling may represent a more appropriate form of development. However, no specific alternative form has been identified which would both satisfy the 1.5 storey requirement and allow a practical dwelling to be constructed.

The comparative section drawings submitted with the application illustrate that a bungalow-style dwelling capable of providing a **comparable level of accommodation** would likely require a **similar ridge height** due to roof pitch requirements. Such a building would also require a broader footprint and longer wall elevation along the boundary.

This alternative arrangement could therefore increase the perceived mass of development along the boundary rather than reducing it.

Alternatively, a significantly lower building with a shallow roof profile could reduce ridge height but would effectively result in a **single-storey dwelling**, which would not align with the 1.5 storey parameter established through the Planning Permission in Principle.

Furthermore, given that the neighbouring properties at Brewlands Crescent are **two-storey dwellings positioned at a higher level** relative to the application site, a substantially lower building could increase the degree to which the new dwelling is overlooked from neighbouring properties.

Supporting Section and Elevation Analysis

The submitted drawings include comparative **street sections and elevations** which illustrate the relationship between the proposed dwelling, the neighbouring properties at Brewlands Crescent, and the properties at 64, 66 & 70 Main Street.

These drawings demonstrate that the neighbouring dwellings at Brewlands Crescent are full two-storey buildings with greater wall height than the appeal proposal. The proposed dwelling, with its reduced eaves height and roof-dominant form, remains visually subordinate to these buildings.

The drawings also illustrate the alternative bungalow form previously explored by the applicant, confirming that a bungalow would not materially reduce the overall ridge height while potentially increasing building mass along the boundary.

Photographic Representation of the Site

The officer photographs included within the review documentation primarily illustrate the **narrow geometry of the site**, which is a constraint that was fully understood and accepted at the Planning Permission in Principle stage.

However, several images appear to have been taken from positions where boundary vegetation is minimal or during seasonal conditions where hedge coverage is reduced.

While these images provide a snapshot of existing conditions, they should not be interpreted as representing the **typical or permanent screening environment** that exists along the site boundary.

The visibility of the proposal would in practice be moderated by existing vegetation and any supplementary planting or boundary treatments implemented as part of the development.

Boundary Screening and Visibility

The existing boundary hedge between the application site and Brewlands Crescent provides a degree of visual separation between the properties. While seasonal variation and occasional gaps may allow limited views into the site, the presence of boundary vegetation and fencing already contributes to a level of screening.

It is acknowledged that any dwelling constructed on the site would inevitably be partially visible above the boundary hedge. However, this situation would arise regardless of whether the dwelling adopted the submitted roof form or an alternative bungalow-style arrangement.

The visibility of roof form above the hedge is therefore an inherent characteristic of the site rather than a consequence of the specific design proposed.

Where necessary, boundary planting and landscaping could be enhanced to reinforce this separation without altering the fundamental planning assessment of the development.

Conservation Area Considerations

The Report of Handling states that the proposal would fail to preserve or enhance the character of the Symington Conservation Area. However, limited reasoning is provided to explain how this conclusion arises in practice.

The application site is located to the rear of the Main Street frontage and is largely enclosed by surrounding properties and boundary walls. As a result, the proposed dwelling would have **little or no visibility from Main Street or other public vantage points within the conservation area.**

The principal elements that define the character of the conservation area in this location are the historic street frontage along Main Street and the associated boundary walls and building pattern. The proposal does not alter these features and would be contained behind the established frontage development.

In this context, the development would have a **very limited influence on the public character or appearance of the conservation area**, and the proposal is therefore

considered capable of preserving the character of the area while allowing appropriate development of the site already accepted through Planning Permission in Principle.

Reasonable Interpretation of the Planning Permission in Principle

Planning Permission in Principle has already established that a dwellinghouse is acceptable on the site.

It is therefore important to consider whether the interpretation of the 1.5 storey condition applied in the refusal still allows for a **reasonable and deliverable form of development** to be constructed.

The Case Officer's assessment indicates that the proposed dwelling is excessive in scale, while suggesting that a smaller bungalow-style dwelling may be more appropriate. However, the comparative section drawings demonstrate that a bungalow capable of accommodating similar internal space would likely require a comparable ridge height and could result in a broader building mass.

In this context, the refusal does not clearly identify what form of dwelling would satisfy the Planning Authority's interpretation of the 1.5 storey condition while still representing a practical implementation of the Planning Permission in Principle.

Proportionality of Amenity Impact

It is recognised that the introduction of any new dwelling on a site will inevitably alter the outlook and visual environment experienced by neighbouring properties to some degree. However, the relevant planning consideration is not whether change will occur, but whether the resulting impact would reach a level that can reasonably be considered unacceptable in planning terms.

In the present case, the site benefits from Planning Permission in Principle for the erection of a dwellinghouse, meaning that some degree of built form on the site has already been accepted through the planning process. The key question for the Local Review Body is therefore whether the specific form of development proposed would

result in impacts that materially exceed what could reasonably be anticipated from the implementation of that permission in principle.

Having regard to the separation distances involved, the roof-dominant form of the building, and the prevailing scale of neighbouring development, the proposal is considered to represent a proportionate form of development which does not give rise to demonstrable or unacceptable harm to neighbouring amenity.

Site-Specific Nature of the Proposal

The circumstances of the site are highly specific. The plot is located to the rear of existing frontage development and is constrained by surrounding properties and boundary features.

The design of the proposed dwelling has been developed in response to these particular constraints and the parameters established through the Planning Permission in Principle. The proposal should therefore be understood as a **site-specific design response** rather than establishing any wider precedent for development elsewhere.

Conclusion

Planning Permission in Principle has already confirmed that the site is suitable for the erection of a dwellinghouse.

The detailed proposal has been carefully designed to respond to the physical constraints of the site while respecting neighbouring properties and the surrounding context. The dwelling adopts a roof-dominant one-and-a-half storey form with reduced wall height and controlled window placement, ensuring that the building integrates proportionately within its setting.

The Planning Authority's assessment places particular emphasis on ridge height while giving limited weight to the reduced wall height, roof form, and contextual relationships illustrated in the submitted drawings. In addition, the officer response does not clearly

identify what form of dwelling would satisfy the interpretation of the 1.5 storey condition while still representing a practical and deliverable development of the site.

For these reasons, the applicant respectfully considers that the proposal represents a **reasonable and proportionate implementation of the Planning Permission in Principle** and requests that the Local Review Body **overturn the decision of the Planning Authority and grant planning permission for the proposed development.**

The applicant would also welcome the opportunity for members of the Local Review Body to undertake a site inspection should they consider it helpful in understanding the spatial relationships between the application site and neighbouring properties.

Mr David Murray

75 Brewlands Crescent

Symington

Ayrshire

KA1 5RN

Email [REDACTED]

South Ayrshire Local Review Body

Planning and Building Standards

South Ayrshire Council

County Buildings, Wellington Square

Ayr, KA7 1DR

Date: 18 March 2026

Dear Members of the Local Review Body,

Re: Planning Application Ref 25/00545/APP

Site: 62A Main Street, Symington, South Ayrshire KA1 5QG

I write with my comments to the Report of Handling of Application for the above application and appeal.

I am the owner and resident of 75 Brewlands Crescent, immediately adjacent to the application site, and therefore directly affected by the proposal.

Summary of Objection

This proposal represents an inappropriate and overbearing form of development within a constrained garden site in the Symington Conservation Area. The scale, height and massing of the proposed dwelling are excessive for the narrow plot and would result in a dominant structure positioned extremely close to neighbouring boundaries, including my own with the proposal being approximately 1.3m from the mutual boundary.

It is noted in Section 8 of the Report of Handling of Application, the northeast elevation of this proposal is 16.8 metres in length, and when combined with the proposed height

of 8.15 metres, would create a visually dominant and overbearing structure, particularly when viewed from the properties at 71-75 Brewlands Crescent to the northeast.

All of this will have a significant and harmful impact on the residential amenity of nearby properties, particularly those at 71–75 Brewlands Crescent, through loss of outlook, increased sense of enclosure and reduced daylight. I completely concur with those findings/comments and would ask the Review Body to give full weight to them.

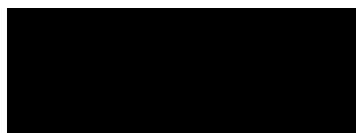
The contemporary design and materials are considered wholly unsympathetic to the established character and historic setting of the conservation area and would fail to preserve or enhance its appearance, contrary to both national and local planning policy.


Furthermore, the proposal would result in the loss of mature trees that contribute to the visual character, biodiversity, and landscape quality of the area, while the proximity of the development to the Category B-listed boundary wall raises legitimate concerns about potential damage to this important historic feature.

Taken together, the proposal represents an overdevelopment of the site/garden that would erode the character of the conservation area and unacceptably harm neighbouring amenity. For these reasons, I agree with the Refusal recommendation of the application and appeal.

I trust that the Review Body will give full weight to these comments and uphold the original recommendation to refuse this application.

Yours faithfully,



David Murray
75 Brewlands Crescent
Symington
Ayrshire
KA1 5RN
Email: 

Drafted conditions and reasons should the officer's decision be overturned:

(1C) That the development hereby permitted must be begun within three years of the date of this permission.

(1R) To be in compliance with Section 58 of The Town and Country Planning (Scotland) Act 1997 as amended by Section 32 of The Planning (Scotland) Act 2019.

(2C) That the development hereby granted shall be implemented in accordance with the approved plan(s) as listed below and as forming part of this permission unless a variation required by a condition of the permission or a non-material variation has been agreed in writing by the Planning Authority.

(2R) To ensure that the development is carried out in accordance with the approved plans unless otherwise agreed.

(3C) The existing trees on the site, with the exception of those expressly agreed or approved for removal, must be retained and safeguarded in full accordance with BS 5837:2012 (as amended), *Trees in Relation to Construction*. Protective fencing shall be erected prior to the commencement of any works and shall remain securely in place, upright, and effective for the duration of the construction period, all to the satisfaction of the Planning Authority.

(3R) In the interests of visual amenity; to ensure that all trees worthy of retention are satisfactorily protected before and during works on site.

(4C) That compensatory tree planting shall be provided on a one-for-one basis. Full details of the proposed replacement trees — including their location, number, species, and height at the time of planting — must be submitted to, and approved in writing by, the Planning Authority prior to the commencement of development on site.

(4R) In the interests of visual amenity and to ensure a satisfactory standard of local environmental quality.

(5C) That precise details of biodiversity enhancement features (as set out in the submitted Design and Access Statement) are to be submitted and agreed in writing by the Planning Authority prior to commencement of works on site. Thereafter, the agreed measures shall be maintained and retained for the lifetime of the development to the satisfaction of the Planning Authority.

(5R) To ensure measures for biodiversity enhancements are adhered to in line with national and local policy.

(6C) That the discharge of water onto the public road carriageway shall be prevented by drainage or other means. Precise details and specifications of how this is to be achieved shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority) before any work commences on site.

(6R) In the interest of road safety and to avoid the discharge of water onto the public road.

(7C) That defined parking bays and associated aisle widths shall accord with the dimensions as set out within paragraphs 3.6.2 and 3.6.3 of the National Roads Development Guide publication, adopted for use by the Council.

(7R) In the interest of road safety and to ensure that there is adequate space for manoeuvring and turning.

(8C) That a minimum of 2 off-road parking spaces shall be provided within the existing site boundary to satisfy provision levels as defined within the Council's adopted National Roads Development Guide. Details of parking layouts designed to comply with the guidance set out in the Council's National Roads Development Guide, and Designing Streets as National Policy, shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority).

(8R) In the interest of road safety and to ensure adequate off-street parking provision.

(9C) As the applicant proposes to construct a turning point adjacent to the existing property within land under their control then the applicant shall ensure the existing off-road parking provision shall be retained within the curtilage of the donor property.

(9R) In the interest of road safety and to ensure adequate off-street parking provision.

(10C) That plans, supplemented by swept path analysis of the largest vehicle type reasonably expected to be serving the development, shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority), and shall require to accord with paragraph 3.1.3 of the Council's National Roads Development Guide. The turning areas shall be constructed, as approved, prior to completion of the development.

(10R) To reasonably avert the reversing of vehicles onto the main road, and in the interests of road safety.

(11C) That designated bin collection points shall be located a maximum of 15 metres from the public carriageway, before occupation of the development. Details and specification of the siting and design of bin collection points shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority) before any work commences on site.

(11R) In the interests of road safety.

(12C) That the shared access shall be a minimum of 3.7m wide Kerb to kerb for operating space in the event of a fire. Plans, supplemented by swept path analysis, shall be submitted for the prior written approval of the Council as Planning Authority (in consultation with the Council as Roads Authority), to show in the event of a fire emergency services can operate within 45m of all points within the dwelling.

(12R) In the interest of road safety and to ensure that there is adequate space for manoeuvring and turning.

(13C) Prior to the commencement of any development, a detailed scheme setting out the measures to safeguard the category B listed boundary wall located between the application

site, 64 Main Street and the donor property at 62A Main Street shall be submitted to and approved in writing by the Planning Authority. The scheme shall include the method of protection, details of any temporary structural supports, and the arrangements for monitoring the condition of the wall throughout the construction period. Thereafter, the approved safeguarding measures shall be fully implemented for the duration of construction works, and no development shall take place except in full accordance with the approved details.

(13R) To ensure the protection and preservation of the listed boundary wall during construction, in the interests of safeguarding built heritage and the character of the conservation area.

(14C) That prior to the commencement of development, samples or a brochure of all materials to be used on external surfaces, in respect of type, colour and texture, shall be submitted for the prior written approval of the Planning Authority and thereafter implemented as approved.

(14R) To ensure that materials are appropriate for the site and to safeguard the character and appearance of the conservation area.

Draft Advisory Notes:

(i) Road Opening Permit:

That a Road Opening Permit shall be applied for, and obtained from the Council as Roads Authority, for any work within the public road limits, prior to works commencing on site.

(ii) Roads (Scotland) Act:

The Council as Roads Authority advises that all works on the carriageway to be carried out in accordance with the requirements of the Transport (Scotland) Act 2005 and the Roads (Scotland) Act 1984.

(iii) New Roads and Street Works Act 1991:

In order to comply with the requirements of the New Roads and Street Works Act 1991, all works carried out in association with the development on the public road network, including those involving the connection of any utility to the site, must be co-ordinated so as to minimise their disruptive impact. This co-ordination shall be undertaken by the developer and his contractors in liaison with the local roads authority and the relevant utility companies.

(iv) Costs of Street Furniture:

The Council as Roads Authority advises that any costs associated with the relocation of any street furniture shall require to be borne by the applicant / developer.

(v) Please note that work should be undertaken in compliance with legislation and guidance relating to Scottish Environment Protection Agency (SEPA) Guidance Note No.8 which can be found at the website of SEPA as follows: www.sepa.org.uk