

**South Ayrshire Council**

**Report by Depute Chief Executive Director of Housing,  
Operations & Development  
to Council of 26<sup>th</sup> March 2026**

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**Subject: Prestwick Regeneration – Potential Projects**

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**1. Purpose**

- 1.1 The purpose of this report is to provide an update on the development of potential regeneration projects and to identify funding priorities available for regeneration projects under the Prestwick Capital Regeneration budget.

**2. Recommendation**

**2.1 It is recommended that the Council:**

- 2.1.1 notes the progress made in the development and assessment of potential Prestwick regeneration projects, informed by stakeholder engagement and technical appraisal;**
- 2.1.2 allocates £1,000,000 to undertake Promenade and Seafront Improvements to key “Gateway Locations”, including Links Road, Burgh Road, and Grangemuir Road locations as set out in the indicative plan attached in Appendix 1;**
- 2.1.3 agrees officers progress grant applications for funding towards potential reinstatement of the Freeman’s Hall steeple and notes a report will be presented to Members with the outcome of the grant applications and recommendations for the progress of any reinstatement;**
- 2.1.4 agrees that the budget allocation of £750,000 towards the reinstatement of the Freeman’s Hall steeple is retained until the outcome of the grant applications is confirmed.**
- 2.1.5 notes officers will work with the community to assist them with their establishment of a trust body and once established officers can consider the commissioning of a feasibility study for a proposed Lido project.**

**3. Background**

- 3.1 In April 2024, Cabinet considered heritage proposals submitted by Prestwick Civic Pride, and in December 2024 Council noted the outcome of public consultation on those proposals. As part of the approved Capital Investment Programme, £2 million was identified to support regeneration investment in Prestwick with spend on technical studies and consultancy the remaining budget is now £1.970m.

- 3.2 In December 2024, Council requested officers undertake a scoping exercise for a masterplan to regenerate Prestwick which would include a strategy for the development of the Seafront and to carry out Options Appraisal in regard to regeneration projects identified, including a workshop to be held with Ward Members and local community stakeholders to present the strategic purpose, objectives, and priorities of the emerging masterplan. This report is being brought back to Council following the conclusion of this work.
- 3.3 Of the £1.970m allocation currently in the Capital Investment Programme there is a specific allocation of £0.750m for the reinstatement of the Freeman’s Hall Steeple leaving the remaining £1.220m for other regeneration activity. Both these budget allocations are ‘place marker’ only as neither of the projects have been previously approved and recommended by the Council’s Capital Asset Management Group (CAMG) as required by the Council’s Financial Regulation. This means that budget has been allocated, but no project has been this far approved. With further detailed information, these projects have now been approved by CAMG based on the recommendations set out in section 2.1.
- 3.4 To support evidence-based decision-making and ensure alignment with community priorities, a multi-disciplinary design team led by Austin-Smith: Lord was appointed to assess regeneration options, undertake cost and feasibility work, and carry out structured stakeholder engagement.
- 3.5 A stakeholder workshop was held in October 2025, followed by written feedback submissions. The outcomes of this engagement are documented in the *Prestwick Regeneration Programme – Stakeholder Engagement Report (February 2026)* (see Appendix 2), which provides the primary evidence base for the recommendations contained within this report. An options appraisal was originally intended to be undertaken as part of the commissioned technical assessment and stakeholder engagement process. However, stakeholders were not comfortable with completing the options appraisal within the workshop and the options appraisal has been carried out subsequently based on work undertaken over the course of technical assessment and stakeholder engagement process. The preferred approach prioritises prompt delivery of Promenade Gateway Improvements, with phased feasibility work for heritage and bathing lake proposals.
- 3.6 The assessment process considered three principal project strands:
- 3.6.1 Promenade and Seafront Improvements
  - 3.6.2 Prestwick Heritage – Freeman’s Hall Steeple
  - 3.6.3 Bathing Lake / Lido Proposal

### **3.7 Promenade and Seafront Improvements**

- 3.7.1 There was strong and consistent stakeholder support for investment in the Promenade and Seafront, particularly where improvements enhance arrival points, accessibility, public realm quality, and the visitor experience.
- 3.7.2 Stakeholders identified the importance of focusing early investment on key “Gateway Locations including Links Road, Burgh Road, and Grangemuir Road, supported by a coherent design approach and future

masterplanning. Previous public consultation carried out in 2024 received strong support at 68% favouring these projects

- 3.7.3 Cost estimates prepared by the design team demonstrate that a package of Gateway Improvements can be delivered within a £1,000,000 allocation, providing visible and clear regeneration benefits.

### **3.8 Freeman's Hall Steeple**

- 3.8.1 The reinstatement of the Freeman's Hall steeple was identified by some stakeholders as a priority heritage project, reflecting its historic, architectural, and civic significance within Prestwick town centre. The building, constructed in 1844 as Prestwick's first civic building, has historically served as a focal point for public meetings, civic functions, and community activity. However, reinstatement of the Freeman's Hall was not previously favoured by 67% of the public that responded to previous public consultation in 2024.
- 3.8.2 Remarking on the historic significance of the Freeman's Hall, consultants Austin - Smith: Lord, considered that there is a good possibility that any works to reinstate the steeple could be successful through grant application to bodies such as the Heritage Lottery Fund.
- 3.8.3 Technical work undertaken to date indicates that reinstatement of the steeple, using a substantial proportion of salvaged original stone, may be feasible, subject to further intrusive investigation, structural assessment, material testing, and statutory engagement.

### **3.9 Bathing Lake / Lido Proposal**

- 3.9.1 The Bathing Lake / Lido proposal emerged during stakeholder engagement as a longer-term aspiration with strong community interest, although it was not part of the original commissioned design scope.
- 3.9.2 Stakeholders broadly supported the commissioning of a standalone feasibility study to assess technical, environmental, financial, and operational considerations before any future capital commitment is considered.
- 3.9.3. The proposal is at an early, exploratory stage and involves Prestwick Community Council. It is recognised that an external third sector organisation would require constituted to advance the project. Members of the community are working to form Prestwick Development Trust (PDT). Officers will work to assist the community on the steps required to form this legal entity Once this is complete then consideration can be given to the commissioning of a feasibility study.in the region of £50,000. Any proposed feasibility study would inform the technical, financial and governance viability of the project, including consideration of any future community asset transfer arrangements. No financial commitment to delivery or to an asset transfer is made at this stage.

## 4. Detail

- 4.1 An Options Appraisal has been carried out into the three projects set out in section 3. The outcome of the Options Appraisal has been approved by CAMG. Given the importance of the Options Appraisal to ensuring Best Value is secured from capital projects that involve discretionary spend, a copy of the Options Appraisal is included in Appendix 2. A summary of the Options Appraisal is set out in Section 11. Enhancement of the promenade receives the highest score with the Freemans Hall steeple second and support for feasibility into the Lido third.
- 4.2 All three projects represent discretionary spend with the Freemans Hall Steeple extending a property asset exceeding £200,000. In such cases the Council's Protocol for Capital Justification requires a Best Value Justification. This is set out in Appendix 3.
- 4.3 The £1.970m capital could enable progression of all 3 projects involving a significant promenade improvement and reinstatement of the steeple along with a small-scale contribution to the Lido feasibility study.
- 4.4 With regard to the promenade improvements, in addition to this project scoring the highest in the Options Appraisal, the provision of the majority of the £1.970m capital (at £1m) both aligns with the outcome of the Options Appraisal and is consistent with the views expressed through public consultation and stakeholder engagement.
- 4.5 The work undertaken since recommending to Council in December 2024, not to continue with the Freemans Hall steeple, has highlighted the historic importance of the building in the development of Prestwick. Balancing the lack of asset efficiency enhancement from the project, the lack of economic benefit and the lower public and stakeholder support for the project even with the placemaking and heritage merits of the proposal this results in a low assessment of the project benefits against Best Value criteria as set out in Appendix 3i). Together with the Options Appraisal and the Best Value assessment this project would not be recommended to Council based on full funding from the Council. However, should the project funding be offset through the securing of a minimum of 50% external match funding then this presents a much-improved positive position on Best Value, as set out in Appendix 3ii)
- 4.6 It is recommended that the Freemans Hall Steeple project be considered and approved once successful match grant funding support is secured. The cost of the steeple reinstatement works is estimated at £0.750m, however, there remains uncertainty as to the eventual cost of a steeple reinstatement in the absence of intrusive structural survey and work set out in paragraph 3.8.3. Although it is proposed that match funding of £0.375m be sought it is recommended that the existing budget provision of £0.750m be retained until both detailed costs are confirmed and match funding is secured.
- 4.7 It is recognised that stakeholder views on the use of public funding for the steeple are mixed, with most consultees raising concerns regarding prioritisation, value for money and the balance between heritage and wider place-based regeneration investment. It is recognised that some of these views may alter with the Council's financial contribution to the project being reduced due to external grant support being secured.

- 4.8 Grant applications could be progressed by the Council or potentially through the Prestwick Civic Pride Partnership or another appropriate delivery body to recognised heritage funding organisations, including Historic Environment Scotland, the National Lottery Heritage Fund, and the Architectural Heritage Fund.
- 4.9 Reinstatement of the steeple will also require listed building consent and a Building Warrant. Given the importance of first securing grant funding officers do not recommend that work progresses now to secure these consents. Later stages of grant submission will also involve more detailed cost certainty on the steeple works. It is therefore not recommended that these progress now until a first stage of grant application has been secured.
- 4.10 The proposal for a Bathing Lake / Lido emerged out of the stakeholder workshop and was not part of the scope of the original project. It is recognised that a Lido renovation could present significant health and tourism benefits. The proposal was promoted by Prestwick Community Council, who are working to establish the Prestwick Development Trust (PDT), as part of a potential future Community Asset Transfer request being submitted to the Council. As a first step community representatives are requesting that the Council contributes to the development a feasibility study. As this project would only be supported through a community-based project, grant funding will be considered once PDT are constituted as a suitable legal entity.

## **5. Legal and Procurement Implications**

- 5.1 The Prestwick Promenade, Seafront and Freemans Hall are Common Good Assets. While it is not considered that the planned scope of works will not entail disposing, appropriating or changing the use of those Common Good assets, Legal Services will be involved in reviewing the planned works to ensure that the Council's statutory obligations in relation to public consultation and seeking consent, where required, are fulfilled. Reinstatement of the steeple will also require listed building consent and Building Warrant
- 5.2 The recommendations are consistent with the Council's procurement requirements. Any commissioned studies or works will be procured in accordance with the Council's Contract Standing Orders and procurement regulations.

## **6. Financial Implications**

- 6.1 The recommended allocations to the capital works for the Promenade and Seafront Improvements will be met from the approved Prestwick Capital Regeneration budget within the Council's Capital Programme.
- 6.2 Any future capital contribution by the Council towards the reinstatement of the Freeman's Hall steeple will be subject to the successful securing of a minimum of 50% external match funding and will be the subject of a further report to Members prior to any construction commitment. It is recommended that the budget allocation of £750,000 be maintained until both detailed costings are confirmed and match funding of estimated £0.375m is secured.
- 6.3 Any future contribution to the proposed feasibility study for the Bathing Lake/Lido is subject to the establishment of the Prestwick Development Trust.

- 6.4 No additional revenue commitments are created at this stage, however reinstatement of the steeple would inevitably involve maintenance revenue costs at a later stage.

## **7. Human Resources Implications**

- 7.1 There are no human resources implications arising from this report.

## **8. Risk**

### **8.1 *Risk Implications of Adopting the Recommendations***

- 8.1.1 Audit Scotland has commented upon the high number of capital projects relative to capacity to deliver resulting in slippage in the programme and the need to prioritise projects to better manage slippage. The addition of these projects to the capital programme will not assist with managing slippage. However, work has been committed to progressing these budget lines since Spring 2024 and the ongoing progression of the projects will not significantly increase capacity constraints.
- 8.1.2 New risks have been identified and assessed in line with the Council's risk management process, including risks relating to cost certainty, statutory approvals, and the availability of external funding.
- 8.1.3 The requirement for external match funding for the Freeman's Hall steeple mitigates financial risk to the Council by reducing sole reliance on local capital resources and ensuring appropriate leverage of national heritage funding. These risks will be managed through existing operational arrangements and monitored through the Directorate Risk Register.
- 8.1.4 The Bathing Lake / Lido proposal is at an early stage and involves an external third-sector organisation. Risks relating to funding, organisational capacity, governance, and deliverability are mitigated by limiting the Council's current involvement to a time-limited feasibility study only, with any future commitment subject to further Member approval and due diligence.

### **8.2 *Risk Implications of Rejecting the Recommendations***

- 8.2.1 Rejecting the recommendations may delay regeneration investment in Prestwick and negatively impact the Council's ability to deliver agreed place-based regeneration outcomes.

## **9. Integrated Impact Assessment (incorporating Equalities)**

Our Integrated Impact Assessment (IIA) considers the following areas:

- Public Sector Equality Duty, Human Rights and Fairer Scotland Duty;
- United Nations Convention on the Rights of the Child (UNCRC);
- Sustainability, climate change, and biodiversity;
- Potential impact on older people;

- Rural communities;
- Health and wellbeing;
- A trauma informed organisation; and
- The Promise.

## 10. Sustainable Development Implications

10.1 This report does not seek approval for a plan, policy or programme requiring Strategic Environmental Assessment. Environmental considerations will be addressed through future project-specific assessments as required.

## 11. Options Appraisal

11.1 An options appraisal has been carried out in relation to the subject matter of this report. The following table summarises which options were considered and their ranking of preference:

<b><i>Option</i></b>	<b><i>Description</i></b>	<b><i>Ranking</i></b>
Promenade Improvements	Public realm improvements at key “Gateway Locations,” including Links Road, Burgh Road, and Grangemuir Road	1
Freeman’s Hall Steeple Reinstatement	Reinstatement of the steeple in a manner faithful to the original	2
Bathing Lake / Lido	Feasibility study to progress proposals for a Bathing Lake / Lido along the seafront	3

11.2 The assessment has focussed on merits within a regeneration context and how they contribute to the betterment of the town, economically, socially, and environmentally.

11.3 Details of the appraisal are contained in Appendix 2.

## 12. Link to Council Plan

12.1 The matters referred to in this report contribute to the Council Plan priority of Place and Economy, supporting town centre regeneration, heritage-led investment, and tourism development.

13. **Link to Shaping Our Future Council** Yes  No

13.1 The matters referred to in this report contribute to the Council’s transformation priority area(s): our assets; our delivery model and will deliver cashable/ qualitative/ quantitative benefits.

## 14. Results of Consultation

14.1 Public and stakeholder consultation has taken place through structured engagement and workshops undertaken in October–November 2025.

- 14.2 Consultation has taken place with Local Members, Prestwick Community Council, Prestwick Development Trust, and other stakeholders. The contents of this report reflect the feedback received, including areas of consensus and dissent.
- 14.3 Consultation has taken place with Councillors Connolly and Clark as relevant portfolio holders.

**15. Next Steps for Decision Tracking Purposes**

- 15.1 If the recommendations above are approved by Members, the Director - will Housing, Operations & Development ensure that all necessary steps are taken to ensure full implementation of the decision within the following timescales, with the completion status reported to the Cabinet in the ‘Council and Cabinet Decision Log’ at each of its meetings until such time as the decision is fully implemented:

<b><i>Implementation</i></b>	<b><i>Due date</i></b>	<b><i>Managed by</i></b>
Implement the recommendations regarding the Promenade and Seafront Improvements	April 2026	Chris Cox
Implement the recommendations regarding the Freeman’s Hall Steeple	April 2026	Chris Cox
Implement the recommendations regarding the Bathing Lake / Lido	April 2026	Chris Cox
Report to Council the outcome of first stage grant funding submissions.	December 2026	Chris Cox

**Appendices**

1. Prestwick Regeneration Programme, Stakeholder Engagement Report, February 2026
2. Options Appraisal
3. Best Value Assessment – Freeman’s Hall Steeple

**Background Papers    Capital Programme 2025-26**

**Joint Report to Council of 12 December 2024 - Outcome of Public Consultation - Heritage Proposals Submitted by Prestwick Civic Pride**  
[Item 12 SAC121224 Prestwick Civic Pride.pdf](#)

**Report to Cabinet of 23 April 2024 - Heritage Proposals Submitted to the Council by Prestwick Civic Pride**

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**Date:**  26<sup>th</sup> March 2026

# Prestwick Regeneration Programme

**South Ayrshire Council**  
Stakeholder Engagement Report

December 2025



Austin-Smith:Lord

## Client



## Design Team

**Austin-Smith: Lord**



## Neilson Partnership

Job Number: 225006  
Document Number: 225006-Stakeholder Engagement Report-01

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- 4.2 Summary Conclusion

### Appendix

Workshop Presentation

# 1.0 Introduction and Scope of Services

## 1.1 Introduction

Austin- Smith:Lord were appointed to lead a multi-disciplinary design team by South Ayrshire Council, to undertake an assessment of options for the regeneration of specific areas within Prestwick Town Centre. The assessment of options will involve working with stakeholders to identify the projects to be allocated priority funding from a £2m capital budget.

The assessment will focus on proposals undertaken for:

- Prestwick Promenade Public Realm Improvements.
- Prestwick Heritage - Freeman's Hall

It is noted that a Council priority is to improve Prestwick Town area as a tourism destination to align with the Council aspirations under Destination South Ayrshire.

It is understood that £2m of Capital Funding is available to be directed towards one or both projects

## 1.2 Scope of Services

The scope of work will, in summary include:

- Assess previously prepared design proposals and studies
- Carry out site walkover and non-intrusive site inspections
- Carry out design and buildability review, provide conservation architecture and engineering commentary up to RIBA stage 1.
- Develop indicative budget costs for each part of the proposals prepared to date,
- Review community consultation outcomes to date,
- Develop a view on the financial viability of the projects,
- Consider alignment against the South Ayrshire Councils objectives and assess potential benefits and risks.
- Assess the projects in collaboration with the Stakeholder's vision.

## 2.0 Engagement & Workshop Overview

### 2.1 Engagement and Process

The assessment, and identification of priority projects, will be undertaken through consultation with project Stakeholders. The Stakeholders will be identified and agreed with South Ayrshire Council.

A stakeholder workshop was held on 22 October 2025, once the designs were progressed and costed.

### 2.2 Purpose of the Stakeholder Workshop

- Provide an update on progress undertaken
- Gather relevant information from the group
- Discuss project options
- Obtain feedback from the group
- Undertake evaluation of the options

### 2.3 Stakeholder Engagement Timeline

Invitations were issued to a list of stakeholders by email.

Date/Time	Activity/Notes
22 October 2025, 1.30 – 4.00pm	Stakeholders were invited to County Buildings to meet with South Ayrshire Council staff and Austin-Smith:Lord.
30 October 2025	The presentation was issued to all the attendees by email, for further review.
30 October - 7 November 2025	5 email responses were received from the stakeholders, providing views and comments on the proposals.
Assessment criteria.	<ul style="list-style-type: none"> <li>• Only one participant completed the scoring matrix, providing equal weighting to the Steeple proposals and the Promenade works, with a preference for rebuilding the Steeple with new stone.</li> <li>• PDT advised that if scoring according to the Assessment Form is required, then we would score FHS with “zero” and the Prom Gateway, and Core artwork and general works with ‘4’ &amp; ‘5’ for each success criteria. As stated above, the Matrix does not feature an option to restore the bathing lake to a Lido. However, if so, we would score it as far as possible with “5”, although not all criteria apply.</li> </ul>

## 3.0 Key Themes & Stakeholder Feedback

### 3.1 Key Themes and General Findings

- There was a sentiment of General Support for regeneration of Prestwick and an appreciation of the work progressed to date and the discussions around the projects.
- The overall tone of feedback was positive and supportive of the regeneration aims.
- The reinstatement of the Freeman's Hall Steeple and Promenade improvements were consistently highlighted as priority projects.
- Multiple stakeholders noted universal or near-universal support for proceeding with the Steeple restoration.

### 3.2 Freeman's Hall Steeple

- This is seen as a heritage landmark of strong local and historical significance.
- The estimated costs (£515k–£545k) were viewed as reasonable however lower than expected, suggesting that this could be interrogated further.
- There was a preference to use existing stone or a mix of old and new materials.
- Stakeholders argued that the Steeple project should proceed without any further consultation, as it already features in capital plans.
- Some suggested any remaining funds should be redirected to seafront improvements.

### 3.4 Promenade & Seafront Improvements

- There was strong general support for enhancements along the Promenade.
- However it was suggested that works should:
  1. Extend to include the adjacent areas such as the beach huts, Kidzplay site, and the Sailing Club.
  2. Be supported by a master plan and integrated design and cost framework.
  3. Most agree that remaining funds (after Steeple costs) should be used here.

### 3.3 Counterpoints to support for the Freeman's Steeple Project.

- Prestwick Community Council (PCC) and Prestwick Development Trust (PDT) raised formal objections to using public/Heritage Fund money for the Steeple project.
- They cited lack of due process due to there being no master plan, or impact assessments having been completed.
- They stated that the project offers limited community benefit and should be privately funded by local groups.
- They assigned the Steeple a score of zero on the evaluation matrix.

### 3.5 Bathing Lake / Lido Proposal

- This proposal has emerged as a new idea, promoted by PCC and PDT which was not considered within the ASL team study. This theme however generated interest by many stakeholders.
- Many respondents support a feasibility study for a future Lido project, with a suggested allocation of £50k separate from the £2M core fund.
- PCC/PDT expressed conditional support for the Lido redevelopment if formally scoped and assessed.

## 4.0 Consultation Observations & Summary Conclusion

### 4.1 Process & Consultation Observations

- Some participants stated that the Assessment of Options Form was overly complex and not well aligned with project realities. Only one participant completed the form.
- Calls for clearer evaluation criteria and better engagement tools in future workshops.
- Several suggested that a phase 2 should involve:
  1. Further design refinement and cost planning for seafront elements.
  2. A Phase 2 regeneration plan covering Broadway, the Sailing Club, the Salt Pans, and public art.

### 4.2 Summary Conclusion

#### Consensus priorities:

- Rebuild Freeman's Hall Steeple using allocated funds.
- Invest remainder in Promenade/seafront improvements.
- Pursue a separate feasibility study for the Bathing Lake/Lido.

#### Dissent:

PCC/PDT oppose the Steeple project and the use of public funds, preferring to focus on seafront and the Lido instead. They state that the previous consultation process, May 2024, rejected spending public money on the Steeple.

**Appendix**

**Workshop Presentation**

## 01.1 Workshop

- **Project Scope + Background**
- **Context**
- **Previous Engagement Exercise**
- **Promenade Proposals Summary**
- **Freeman's Hall Proposals Summary**
- **Suggested Assessment Process** 30 mins
  
- **Q+A on Proposals + Costs** 30 mins
- **Discussion on Assessment Process** 30 mins
- **Assessment Process** 30 mins
- **Next Steps** .....

### **Purpose of Workshop**

- Provide an update on progress undertaken
- Gather relevant information from the group
- Discuss project options
- Obtain feedback from the group
- Undertake evaluation of the options

# 01.2 Project Brief

## Project Scope

Austin- Smith:Lord were appointed to lead a multi-disciplinary design team by South Ayrshire Council, to undertake an assessment of options for the regeneration of specific areas within Prestwick Town Centre. The assessment of options will involve working with stakeholders to identify the projects to be allocated priority funding from a £2m capital budget.

The assessment will focus on proposals undertaken for:

- **Prestwick Promenade Public Realm Improvements.**
- **Prestwick Heritage – Freeman’s Hall**

It is noted that a Council priority is to improve Prestwick Town area as a tourism destination to align with the Council aspirations under Destination South Ayrshire.

It is understood that £2m of Capital Funding is available to be directed towards one or both projects.

## Scope of Services

The scope of work will, in summary include:

- Assess previously prepared design proposals and studies,
- Carry out site walkover and non-intrusive site inspections
- Carry out design and buildability review, provide conservation architecture and engineering commentary up to RIBA stage 1.
- Develop indicative budget costs for each part of the proposals prepared to date,
- Review community consultation outcomes to date,
- Develop a view on the financial viability of the projects,
- Consider alignment against the South Ayrshire Councils objectives and assess potential benefits and risks.
- Assess the projects in collaboration with the Stakeholder’s vision.

## Engagement and Process

The assessment, and identification of priority projects, will be undertaken through consultation with project Stakeholders. The Stakeholders will be identified and agreed with South Ayrshire Council.

**Stage 1** - Preparatory Phase by Design Team

**Stage 2** - Scenario Development + Cost estimates

**Stage 3** - Stakeholder Workshop

Scenario Testing + Criteria Assessment

**Stage 4** - Final Reporting

## Objective

Through the process of review, costing, engagement and assessment, demonstrate a series of scenarios / options to show how a project or selection of projects could be combined to allocate the £2M spend.

Set out recommendations for the next steps.

## Timescale

**Stage 1** - May - June 2025

**Stage 2** - July- August 2025

**Stage 3** - October 025

**Stage 4** - October 025

# 01.2 Background Information

## Prestwick Promenade

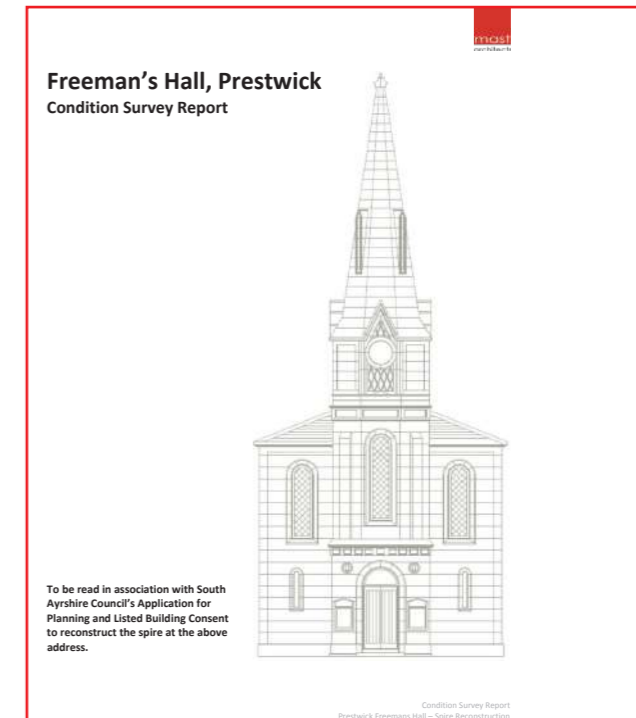
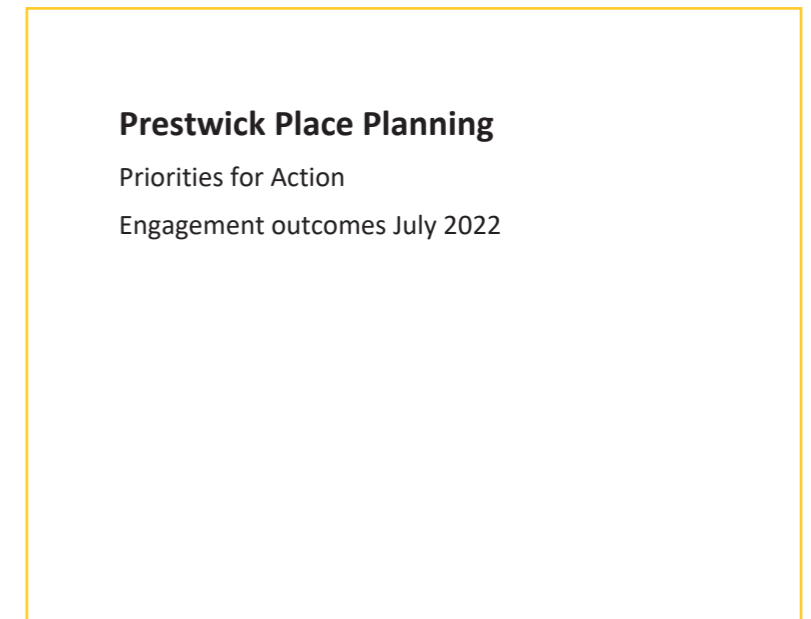
- Austin-Smith:Lord - Promenade and Seafront Enhancement, 2024

## Freemen’s Hall

- The Freeman’s Hall, Prestwick, Conservation Plan December 2023, O’Donnell Brown
- Prestwick Built Heritage Project, Freeman’s Hall & Cottage, Stage 2 Report, November 2023, O’Donnell Brown
- MAST Freeman’s Hall Condition’s Survey, 2013
- Alterations to a listed Building Ref No. 19/00611 LBC
- Alterations and Re-instatement of Steeple Ref No. 13/00576/LBC

## Engagement

- Streets UK - Prestwick Regeneration - Consultation Analysis, July 2024
- South Ayrshire Council - Prestwick Place Planning, Engagement Outcomes, July 2022



## **02** Site + Context

# 02.1 Extent of Site - Promenade



# 02.2 Context - Freeman's Hall + Heritage

## Location Plan of Historic Buildings of note.

1. The Mercat Cross
2. Old Post Office
3. 18-22 The Cross
4. Alexander Hutchison's House
5. 8 & 14 The Cross
6. Old Burgh Chambers (Freeman's Hall)
7. 5 & 7 The Cross
8. The Red Lion
9. 21-37 Main Street
10. Prestwick Sundial
11. Prestwick War Memorial
12. Former Bank at The Cross
13. John Keppie's House at 4 Station Road
14. 6 Station Road
15. Prestwick Town Railway Station & Waiting Room
16. Prestwick Golf Club
17. Greystones, 25 Links Road
18. Polish War Memorial
19. Prestwick St Nicholas Golf Club
20. Salt Pan Houses
21. Kingcase, Bruce's Well and the Ruins of St Ninians Hospital
22. The Oval Clubhouse at St Ninians
23. St Nicholas Parish Church
24. The Broadway Cinema
25. Prestwick South Parish Church
26. Prestwick Community Education Centre
27. Monkton and Prestwick North Parish Church
28. St Nicholas' Church and Graveyard
29. St Cuthbert's Parish Church
30. Shaw Monument

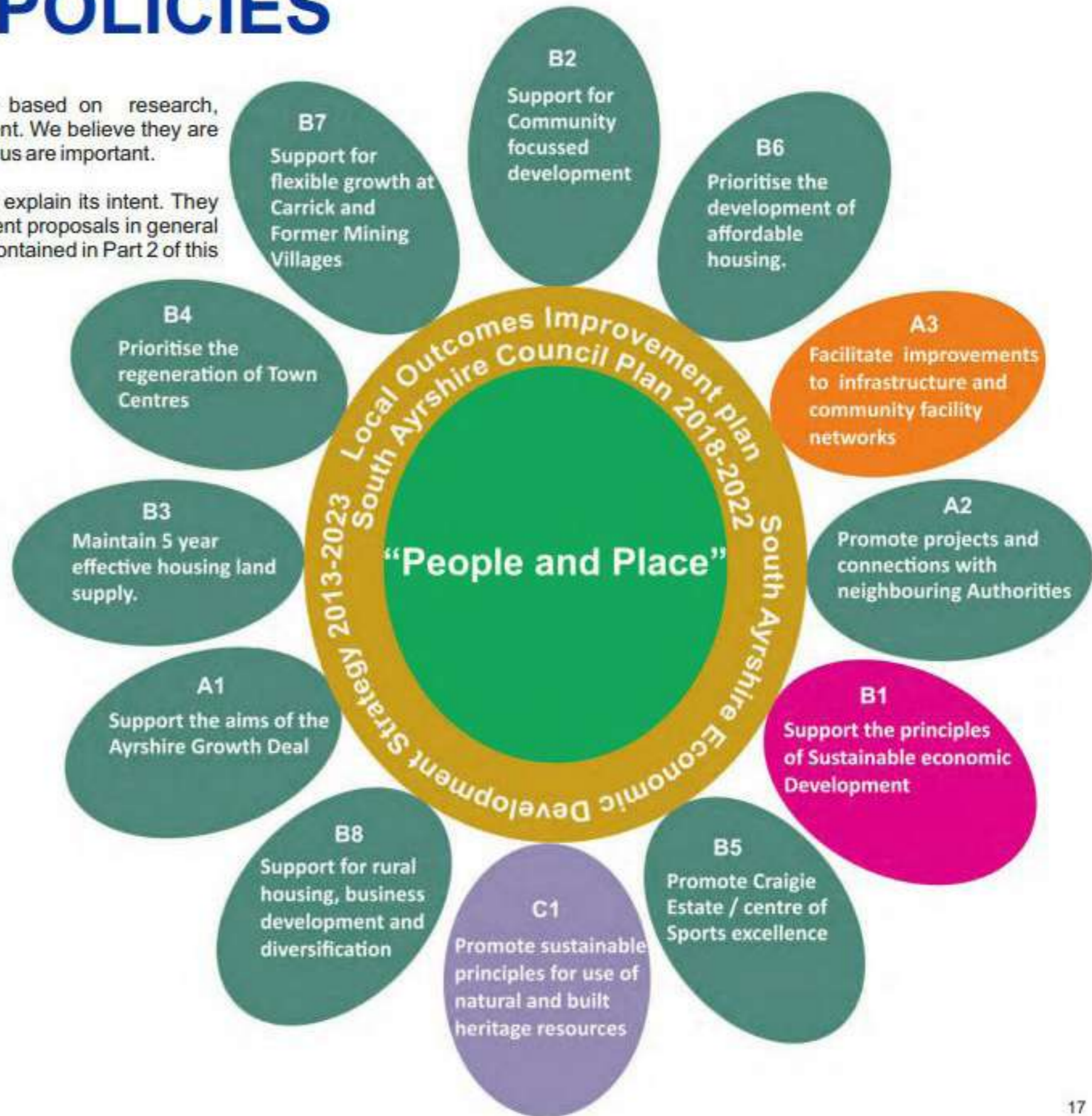
Information taken from Prestwick Heritage: Freeman's Hall & Cottage, Stage 2 Report by O'DonnellBrown, Nov 23.



# THE STRATEGIC POLICIES

The Core Principles promoted in the Strategy Section are based on research, comments submitted during consultation and public engagement. We believe they are representative of issues South Ayrshire's communities have told us are important.

The Core Principles form the foundations of LDP2 and help to explain its intent. They provide a framework for considering investment and development proposals in general terms, and provide insight into how the more detailed policies (contained in Part 2 of this Plan) will be interpreted and implemented in practice.



# 03 Previous Engagement

# 03.1 Community Engagement - Place Planning

## Prestwick Place Planning

Priorities for Action

Engagement Outcomes, July 2022.

Consultation was undertaken by South Ayrshire Council between January and February 202. The council undertook a series of Community Conversations with the community in Prestwick identify the main concerns facing residents and to inform any forthcoming Place Plans.

## The Place Standard Scores

Topic	Average
Traffic and parking	4.0
Influence and sense of control	4.0
Moving Around	4.4
Play and recreation	4.5
Care and maintenance	4.5
Streets and spaces	4.6
Housing and community	4.7
Public transport	4.8
Social contact	4.9
Work and local economy	5.0
Natural space	5.1
Feeling safe	5.3
Facilities and amenities	5.3
Identity and belonging	5.5

This ranges from 1, where most improvement is needed, to 7, where no improvement is needed.

## Feedback/ example of comments

- Local history and heritage should be better celebrated
- Where is spire on Kirk St building ?
- Old buildings need preserved not demolished
- Derelict buildings could be improved
- Empty premises
  
- More facilities down the beach
- Lack of public seating and benches
- Some streets not accessible for wheelchair users
- Play areas (especially at beach) are a poor standard and quality
- Upgrade and improve parks and play areas
- New play equipment including access for disabled / wheelchair users
- Invest and improve the beach/promenade area
- Beach and streets cleaned more regularly
- More could be done on promenade – more cafes, space for exercise, seating
- More appealing green space/parks would give people opportunity to meet outdoors
- More facilities down the beach

# 03.2 Community Engagement Outcomes - Freeman's Hall and Cottage

## Public Consultation

Consultation was undertaken by South Ayrshire Council in relation to the proposals for the Freeman's Hall and the Promenade, throughout May until June 3rd, 2024.

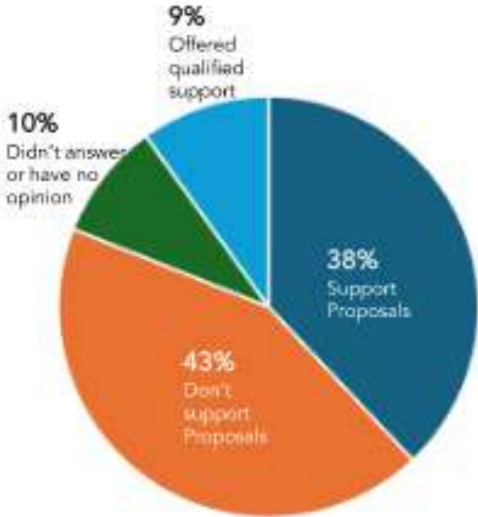
The documents, with the proposals, were made available for viewing via the South Ayrshire Council website.

A total of 357 responses were received.

Prestwick Regeneration Consultation Analysis, July 2024

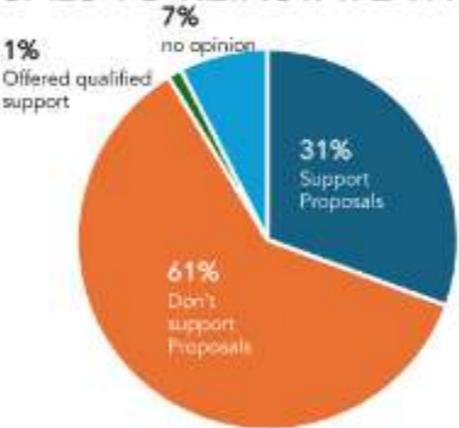
## Freemen's Hall and Cottage Consultation Questions

### Q1 What are your views on the proposals for Freeman's Hall and Cottage



- 38% support the proposals
- 9% offered qualified support
- 43% don't support the proposals
- 10% didn't answer or had no opinion

### Q2 What are your views on the proposals to reinstate the Steeple?



- 31% support the proposals with a further 1% offering qualified support
- 61% don't support the proposals
- 7% didn't answer or had no opinion

### Are there any designs that you favour?



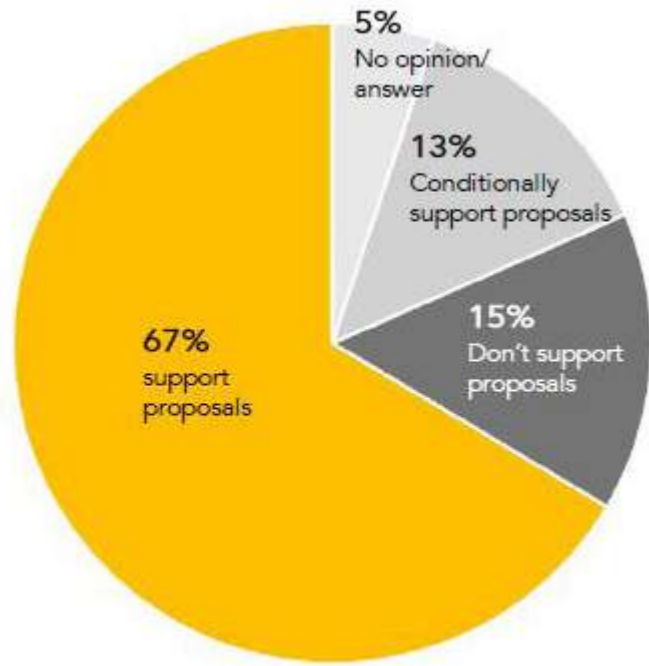
■ Original ■ Modern ■ In keeping with building ■ Stand up to storm

- Mixed response to the previous proposals for the Freeman's Hall and Cottage.
- The majority of respondents don't support the reinstatement of the Steeple.
- Of the respondents who support the reinstatement of the steeple, the majority support reinstatement of the steeple back to its original state.

# 03.3 Community Engagement Outcomes - The Promenade

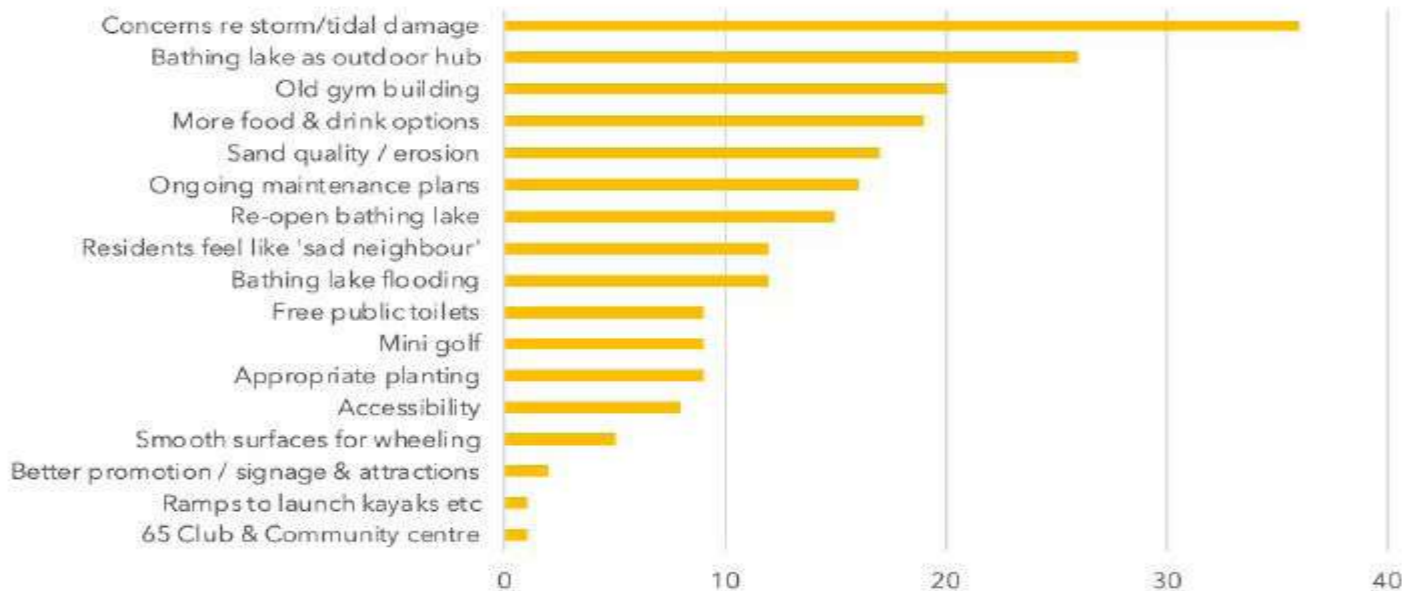
## Prestwick Promenade Consultation Questions

**Q3 What are your views on the enhancements to Prestwick Promenade?**



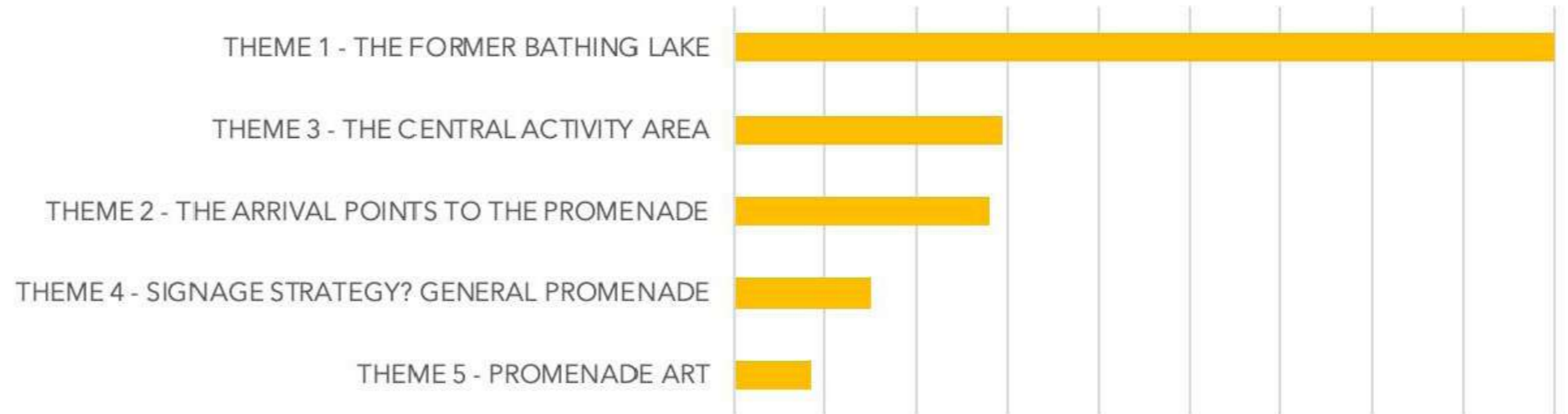
No opinion   Conditional/qualified support   This isn't a priority   Support proposals

Q3 - BREAKDOWN OF COMMENTS / QUALIFIED SUPPORT



**Q4 A selection of themes have been suggested for improvement. How would you rate the themes, in order of priority?**

BREAKDOWN OF VOTES FOR FAVOURITE CHOICE

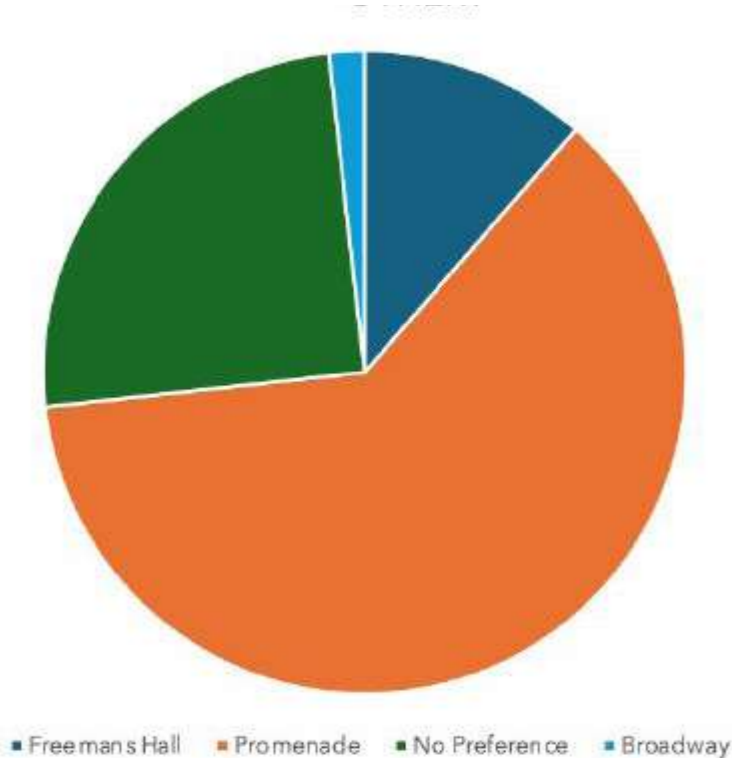


- The majority of respondents support enhancements to the promenade.
- The majority of respondents who support the promenade improvements prefer to see the former bathing lake redeveloped.

# 03.4 Community Engagement Outcomes

## Consultation Questions

**Q6 Which of the two studies would you say is the most important? Would you prioritise one set of works over the other?**



- 12% stated Freemans Hall most important
- 62% stated promenade most important
- 25% didn't answer or had no preference
- 1% suggested Broadway

# 03.5 Prestwick Academy Engagement Outcomes

## ‘YOUR PRESTWICK’

Tuesday 20th February 2024  
Prestwick Academy

### What Young people told us

Young people listened to 4 presentation and took part in various activities gathering views on the positives of living, visiting Prestwick and areas for improvements

### Consultation with 42 young people from Prestwick Academy and Cluster Primary Schools

#### What do you like about Prestwick?

- The shops and places to eat
- The beach
- Swimming pool
- The Oval to play football
- Loads of clubs
- Places for walks
- Sailing club
- Golf
- Tennis club
- It's accessible

#### Your voice is important

#### Top votes on how the funds should be used:

**1st**  
Invest in the Broadway Theatre as this would give young people more to do, it would improve tourism, entertainment and make Prestwick exciting

**2nd**  
Improve outdoor spaces with better lighting, shelter areas and more seating and a multi-purpose Astro turf

#### What are the issues and improvements?

- Not enough for young people to do
- More sporting facilities
- Need a cleaner beach
- Don't feel safe at the Oval
- More cycle lanes
- More indoor and outdoor activities
- Need more places to go
- More outdoor open spaces
- Improve outdoor lighting
- More outdoor seating and shelter areas
- More food places at the beach

Improvement	How money should be used	Number of votes
<p>Invest in the Broadway Cinema and improve the shop fronts and the main street. This would give young people more to do.</p> <p>We all agree that money should be spent on the Broadway – this will improve tourism, entertainment and make Prestwick exciting.</p>	<ul style="list-style-type: none"> <li>- Begin/continue and re-open the Broadway renovation for multi-purpose use: cinema/shows/comedy/concerts/modern movies/pantos</li> <li>- Open a café, book, and record exchange within it</li> <li>- It could be used as a museum – interesting for school trips</li> <li>- Include lots of seating areas/sofa spaces/recliner chairs</li> <li>- Have popcorn/pick in mix/slush puppies/candy floss/ice cream for sale</li> <li>- Restoration of the historic building</li> </ul>	27
<p>Improve big open outdoor spaces</p> <p>The oval is too small, not nice to hang out in (unsafe and easy to hide to drink/smoke). Safer to have a big open space esp for an Astro Turf (prefer at the beach)</p> <p>Improve beach area</p>	<ul style="list-style-type: none"> <li>➤ Shelter places (dug outs) with seats</li> <li>➤ Well light areas – esp at night</li> <li>➤ More benches/seating areas</li> <li>➤ Space for outdoor events/festivals</li> <li>➤ Improved cycle path's/trails</li> <li>➤ Mini golf/trampoline park</li> <li>➤ Astro turf pitch</li> <li>➤ Nets / H posts</li> <li>➤ Showers at beach</li> <li>➤ Better paths</li> </ul>	14
<p>Community Hub specially for younger age groups – for support and socialising for young people</p>		5
<p>Indoor space for activities</p>	<ul style="list-style-type: none"> <li>➤ Use the Ambassador Bowling club – as it is sitting empty</li> <li>➤ Bowling alley</li> </ul>	3
<p>School of football (similar to what Grange Academy have)</p>		2

| 17 | Prestwick Regeneration Programme

20th February 2024.

# 04 Promenade Proposals

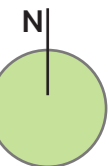
# 04.0 Context - Promenade + Prestwick Open Space

## Location Plan of Historic Buildings of note.

1. The Mercat Cross
2. Old Post Office
3. 18-22 The Cross
4. Alexander Hutchison's House
5. 8 & 14 The Cross
6. Old Burgh Chambers (Freeman's Hall)
7. 5 & 7 The Cross
8. The Red Lion
9. 21-37 Main Street
10. Prestwick Sundial
11. Prestwick War Memorial
12. Former Bank at The Cross
13. John Keppie's House at 4 Station Road
14. 6 Station Road
15. Prestwick Town Railway Station & Waiting Room
16. Prestwick Golf Club
17. Greystones, 25 Links Road
18. Polish War Memorial
19. Prestwick St Nicholas Golf Club
20. Salt Pan Houses
21. Kingcase, Bruce's Well and the Ruins of St Ninians Hospital
22. The Oval Clubhouse at St Ninians
23. St Nicholas Parish Church
24. The Broadway Cinema
25. Prestwick South Parish Church
26. Prestwick Community Education Centre
27. Monkton and Prestwick North Parish Church
28. St Nicholas' Church and Graveyard
29. St Cuthbert's Parish Church
30. Shaw Monument

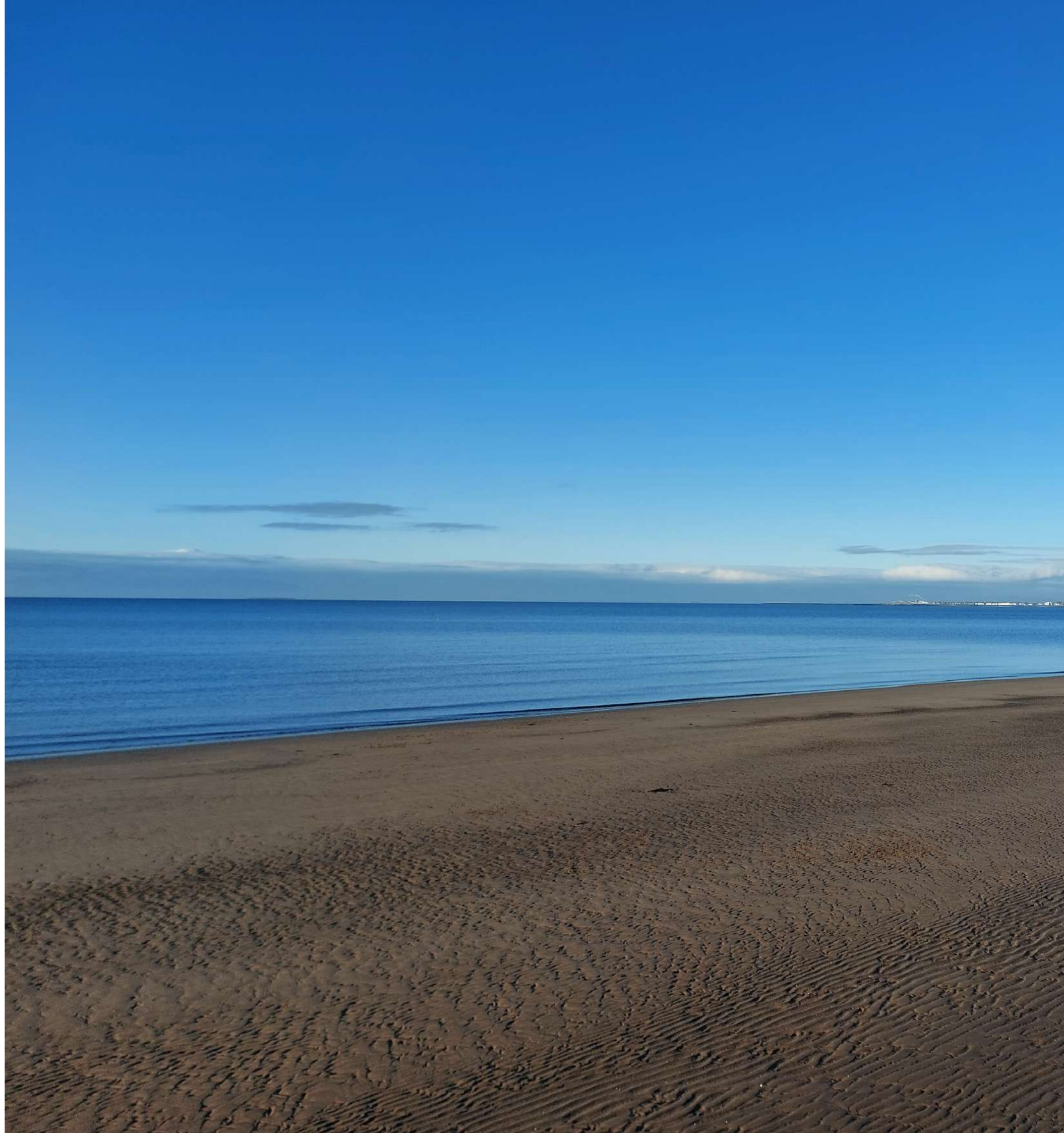


Information taken from Prestwick Heritage: Freeman's Hall & Cottage, Stage 2 Report by O'DonnellBrown, Nov 23.



## 04.0 Prestwick Promenade - Spatial and Social Value

- Prestwick Promenade Celebrations
- Dementia Friendly Prestwick
- Putting Green (seasonal)
- Children's Play Area
- Prestwick Sailing Club
- Golf Courses (Prestwick and St Nicholas)
- Salt Pans



# 04.0 Prestwick Promenade



# 04.1 Promenade Objectives

The overall objective is to provide for a high amenity leisure space for local residents, visiting tourists and for other South Ayrshire citizens.

- Increased economic activity in Prestwick and South Ayrshire.
- A backdrop to support an improved annual planned Prestwick Events Calendar.
- A contribution to enhance health and well-being through outdoor activity for the local community and general population.
- A platform for a Prestwick Seafront Volunteer programme.
- A high quality leisure destination.



Poor quality accessibility



Difficult to maintain materials and details



Lack of events or gathering space + facilities



Mix of materials and poor accessibility



Multiple types of street furniture and signage

## 04.2 Promenade Options

The proposals for the promenade enhancements suggested four possible themes/ areas to consider:

### Theme 01- The Former Bathing Lake

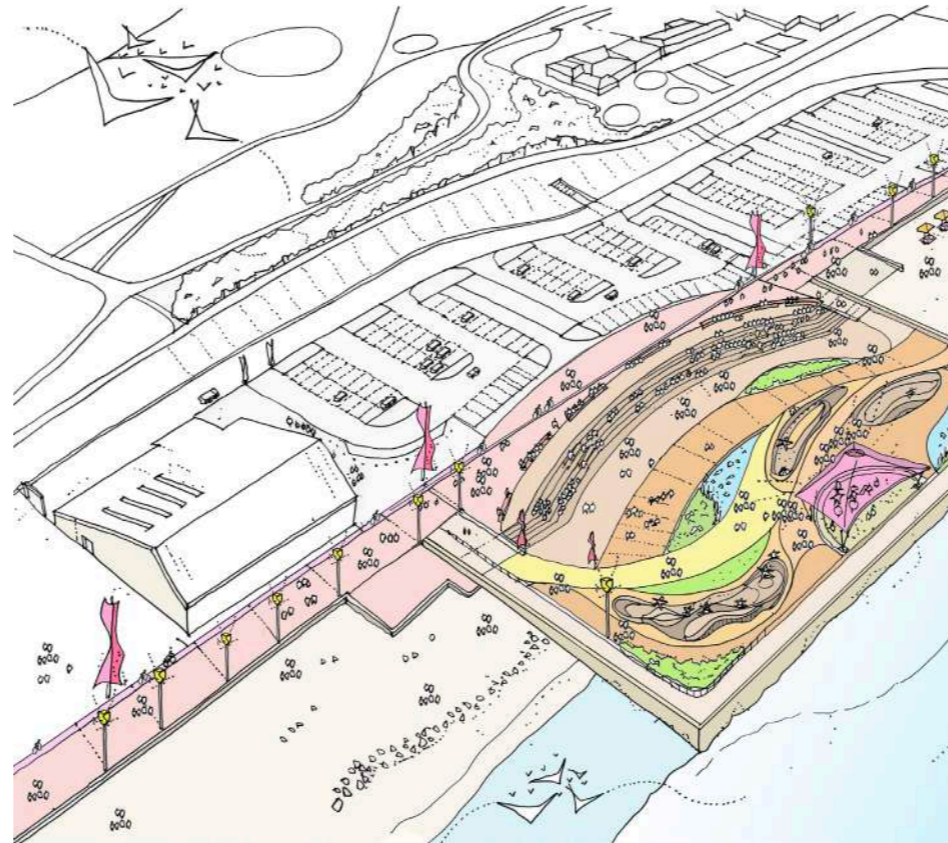
- Enhancements to the former bathing lake
- Removal of the bathing lake
- Removal of the bathing lake with a pier retained

### Theme 02 -Gateway Enhancements

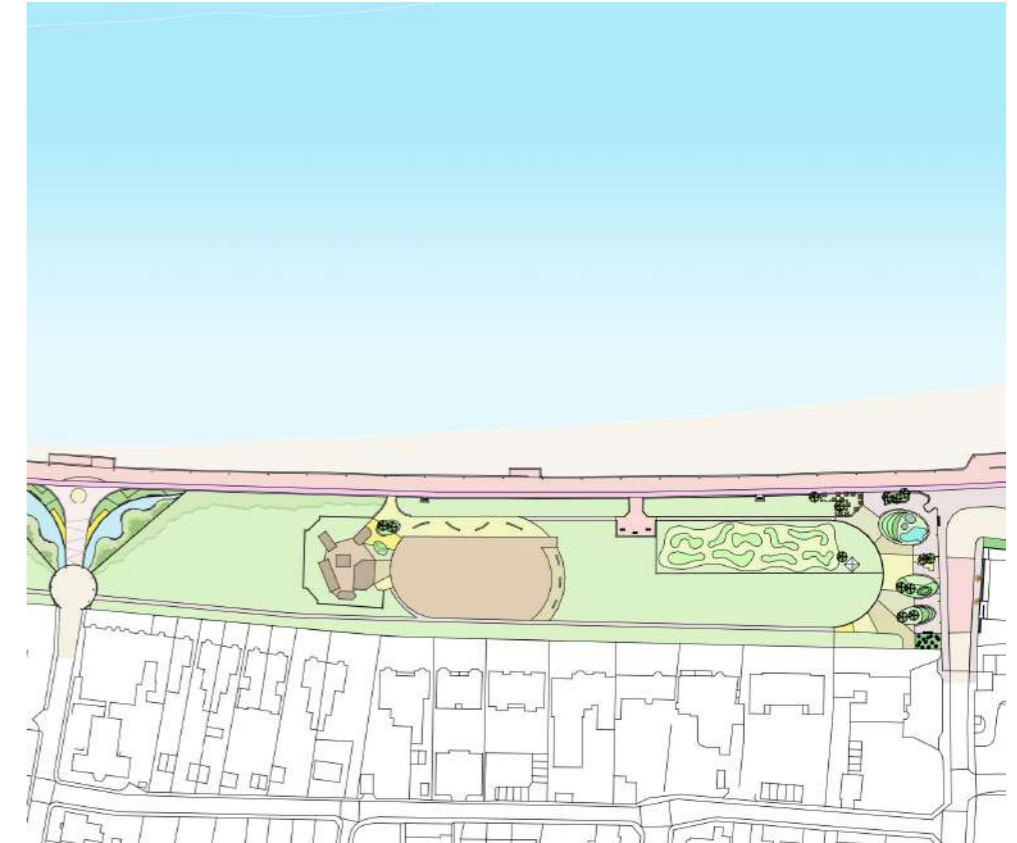
- Links Road
- Burgh Road
- Grangemuir Road

### Theme 03 -Core Area

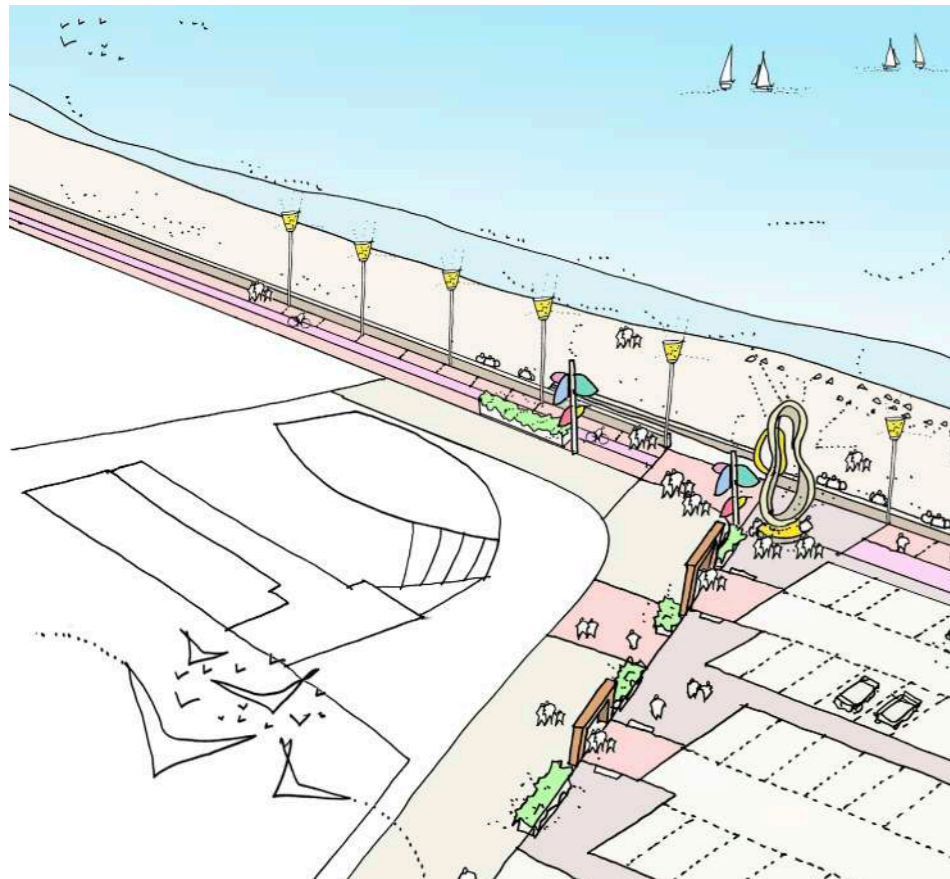
### Theme 04 - General Improvements + Art Work



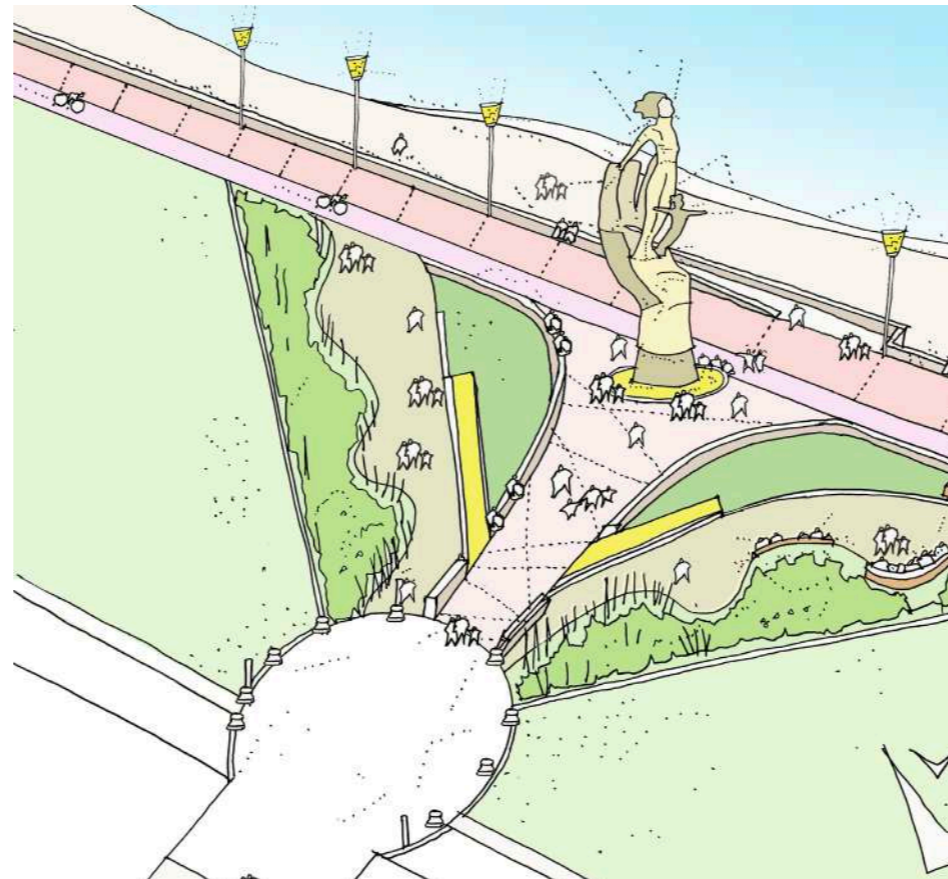
Enhancements to the former bathing lake



Enhancements to the core area



Grangemuir Road



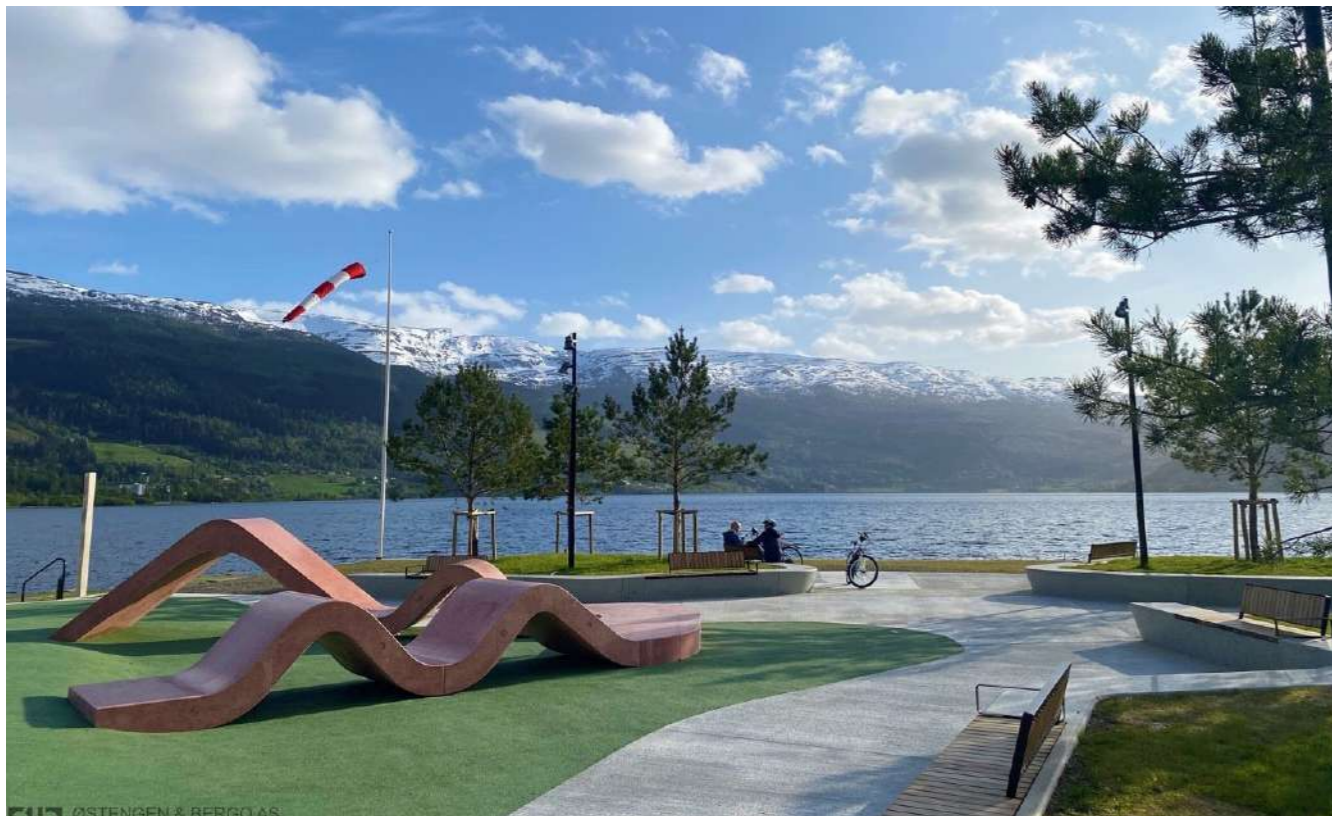
Burgh Road



Links Road

## 04.3 Promenade Aspirations

- Develop a robust, consistent, simple, crisp, high quality aesthetic.
- Create a family friendly space, with fully accessible routes and rationalisation of clutter.
- Provide spaces, flexible for public gatherings and community events
- A platform for a Prestwick Seafront Volunteer programme.
- Develop a high quality leisure destination.



## 04.4 Promenade Cost Estimates

PROJECT OPTION	COST ESTIMATE	SUMMARY/ NOTES
<b>Promenade</b>		
Bathing Lake - Option 1	£926,000	Proposed enhanced play area.
Bathing Lake - Option 2	£3,462,000	Proposed removal of the bathing lake area and reinstatement of the beach.
Bathing Lake - Option 3	£3,962,000	Proposed removal of the bathing lake area and reinstatement of beach with retained or added pier.
Links Road Gateway	£277,000	
Burgh Road Gateway	£399,000	
Grangemuir Road Gateway	£165,000	
Core Activity Area	£141,000	
General Improvements	124,000	Rationalising of street furniture and signage plus an allowance for artwork

- TOTAL (including Bathing Lake -Option 1) £2,032,000
- TOTAL (including Bathing Lake - Option 2) £4,568,000
- TOTAL (including Bathing Lake -Option 3) £5,068,000

### Basis of Budget Costs

- Lays prepared by Austin-Smith:Lord.
- Promenade Stage 1 Engineering Report prepared by Will Rudd Davidson.
- Tender levels current in third quarter of 3025 (3025), obtained by competitive tendering.
- Excluding:**
  - adverse ground conditions
  - disposal of contaminated material
  - lowering or diversion of underground services lighting & power installations
  - Mini Golf & fence
  - replacing benches & litter bins
  - tender price inflation beyond 3025
  - statutory fees
  - professional fees
  - VAT

# 04.5 Promenade Risks and Constraints

Risk and constraints associated with the former bathing lake options:

### Option 1 - Redevelopment

- Existing brick walling lining has failed
- Spalling concrete walls
- Corrosion and fixing failing on the balustrades and timber posts.
- Permeability of ground to adopt SuDs
- Structural integrity and life span of walkway and sea wall

### Option 2 - Reinstate the Beach

- Statutory consents
- Liaison with SEPA
- Demolition/ temporary works and sheet piling
- Ecology assessment/ contamination
- Fill material

### Option 3 - Reinstate the Beach with a Pier

As above with assessment of material displacement

### General

- Services and utilities
- Coastal flood risks
- General coastal environment



### Coastal Flooding

#### High Likelihood

Each year this area has a 10% chance of flooding.

#### Medium Likelihood

Each year this area has a 0.5% chance of flooding.

#### Low Likelihood

Each year this area has a 0.1% chance of flooding.

### Surface Water and Small Watercourses Flooding

#### High Likelihood

Each year this area has a 10% chance of flooding.

#### Medium Likelihood

Each year this area has a 0.5% chance of flooding.

#### Low Likelihood

Each year this area has a 0.1% chance of flooding.



# **05** Freeman's Hall Steeple

## 05.0 Freeman's Hall Stage 1 - History of Freeman's Hall

- Funded by the 36 Freeman of Prestwick
- Thought to be funded by money paid to allow the railway line to Ayr to be built in 1840
- Built in 1844 as the first civic building in Prestwick
- Held the annual meeting of the Freeman, the local court and jail, the local school and a local community room
- The steeple clocks were a community asset - known locally as the "four faced liar"
- In 19th Century became the local Burgh Hall
- Second use as a school in the early 1900's
- After the new municipal buildings were constructed on Links Road in the 1930's, Freeman's Hall became the local district council offices
- Awarded B listing status in 1971
- Steeple removed in 2011 due to structural concerns



# 05.0 Freeman's Hall Stage 1 - History of Freeman's Hall: 1857 Ordnance Survey Map: Prestwick's first civic building



# 05.0 Freeman's Hall Stage 1 - History of Freeman's Hall: 1895 Ordnance Survey Map: Development around the railway line



# 05.0 Freeman's Hall Stage 1 - History of Freeman's Hall: 1908 Ordnance Survey Map: Urban density increases



# 05.0 Freeman's Hall Stage 1 - History of Freeman's Hall: 1938 Ordnance Survey Map: Modern Prestwick is formed



# 05.0 Freeman's Hall Stage 1 Inspection Report - Introduction

## Contents

- 05.1 Introduction
- 05.2 Records of Historic Steeple and Demolition
- 05.3 Condition of Historic Stone
- 05.4 Stage 1 Assessment of Freeman's Hall External Stone
- 05.5 Stage 1 Summary of Findings
- 05.6 Proposed Reconstruction Options
- 05.7 Recommendations and Next Steps

## 05.1 Introduction

This section of the report will focus on Prestwick Heritage-Freeman's Hall in relation to the condition of the existing fabric which supported the now dismantled stone steeple and will assess the feasibility of re-instatement of the stone steeple and buildability, in relation to the previously prepared design proposals and in relation to the current structure. WRC engineers have carried out a full structural assessment which is Section 6 of this report. Documents reviewed;

- The Freeman's Hall, Prestwick Conservation Plan December 2023
- Prestwick Built Heritage Project Freeman's Hall & Cottage Feasibility Study November 2023

## 05.2 Records of Historic Steeple and Demolition

'The History of Prestwick' by John Strawhorn dates the construction of the Freeman's Hall circa 1844. The stone steeple is reported to have been built later than the original building.

ASL made enquiries to the Ayrshire Archives but no plans of the Freeman's Hall were kept on file other than some Prestwick Dean of Guild Plans, dating from 1906 to 1909. In 2011, the steeple to the Freeman's hall was carefully taken down due to structural concerns.

Our enquiries to the council archives noted the following applications for planning and listed building consents regarding the partial demolition of the listed building and applications for re-instatement of the steeple.

- Alterations to a listed Building Ref No. 19/00611 LBC
- Alterations and Re-instatement of Steeple Ref No. 13/00576/LBC



<https://canmore.org.uk/collection/2612266>  
**View from East: Image Collection: (RCAHMS),**  
Edinburgh Date: 1999, <http://canmore.org.uk/collection/1441314>

- Alterations and Re-instatement of Steeple Ref No. 13/00576/LBC

The conservation plan 2023, shows photographic evidence of masonry sections that were salvaged during the dountaking of the spire.

ASL were advised by South Ayrshire Council of the location where this masonry was stored and carried out an inspection of the retained stone in June 2025



OS National Grid 1944-1972 (1958)

# 05.0 Freeman's Hall Stage 1 Inspection Report - Research

## 05.3 Stage 1 Assessment – Condition of Historic Stone

To gain understanding of the building in relation to the steeple and the underlying reasons why it was dismantled. A significant issue is understanding the properties of the existing stone:

- to help establish if the stone is a contributing factor to the structural issues.
- to establish what is causing delamination to the masonry surface of the elevations.

### Site Visit to Steeple Stone Storage Location – 12th June 2025.

The dismantled steeple stones had been removed from site and taken to secure containers on the grounds of Ayr Police Station. Our initial impression from the previous reports had been that much of the stone could not be re-used and that material was lost or damaged from dismantling and transporting.

### Assumptions made about stone prior to the site visit

- That the stone would be in poor condition
- That much of the historic material would be damaged
- That architectural features and parts would be missing
- That the stone face would be showing signs of delamination and surface erosion as per that of the Freeman's Hall or that the stone was a different type of stone to that of the Freeman's Hall

### Observations made during the stone site inspection

- That the stone was in very good condition. The containers have kept the stone dry and secure. From what we were able to observe on site most of the stone had been retained for re-use.
- Unlike the existing masonry on the Freeman's Hall the

surface faces of the steeple stone show no signs of previous repairs.

- At the time the steeple was dismantled the stone had been removed carefully and stacked on wooden pallets with each pallet numbered to identify each course.
- The first container had the finial stone and smaller courses of stone which would suggest it was the top section. We could see various architectural features and carved stone pieces and the lattice stone below the lancet windows. This container was full all the way to the back.
- The second container was stacked higher than the first and the stone organised in a similar way to the first on numbered wooden pallets. The third container has a lesser amount of stone and was organised in a similar way to the other two containers.
- The surface on only some stones was delaminating and some of the detail carving had been lost, but in general the stone was in good condition and was not friable.
- Having closely inspected the stone's appearance, it looks very similar to the Freeman's Hall but this can only be proven by proper analysis and testing. We removed a small sample of stone which had broken off, for the purpose of future testing.



Stone stored within Container 1



Stone stored within Container 2



Stone stored within Container 3

## 05.0 Freeman's Hall Stage 1 Inspection Report - Research

### **The Clock Faces and Mechanisms**

Although shown in one of the photographs in the Freeman's Hall and Cottage Feasibility Study of 2023, the steeple clocks were not included in the storage cabins along with the steeple masonry. During discussions with South Ayrshire Council, it was mentioned they had been moved to Edinburgh. Further research identified that H.E. Weir & Son, a specialist steeple clock repair company, have three clock dials and hands. They also have the mechanisms but have recommended that these are replaced with modern mechanisms.

### **The Weathervane**

We found the support bracket for the weathervane in the containers along with the masonry but not the weathervane. H.E. Weir & Son have also confirmed that they don't have it. It may still be stored in one of the containers but until it is found we propose to make an allowance for adding a new weathervane.



Existing clock dial, photo provided by H.E Weir & Son

# 05.0 Freeman's Hall Stage 1 Inspection Report - Site Assessment

## 05.4 Freeman's Hall Inspection Visit 14th May 2025 Inspection of Supporting Steeple Walls:

Our inspection covered the internal base of the stone steeple, accessed from the first-floor landing, and to the rear of this structure, from within the roof void accessed directly above the first-floor landing. A visual review of the external elevations from ground level up to the underside of the stone cornice at roof level was carried out from the surrounding pavement. Being able to carry out close inspections of the existing elevations, we have grouped our initial comments into two categories: internal and external.

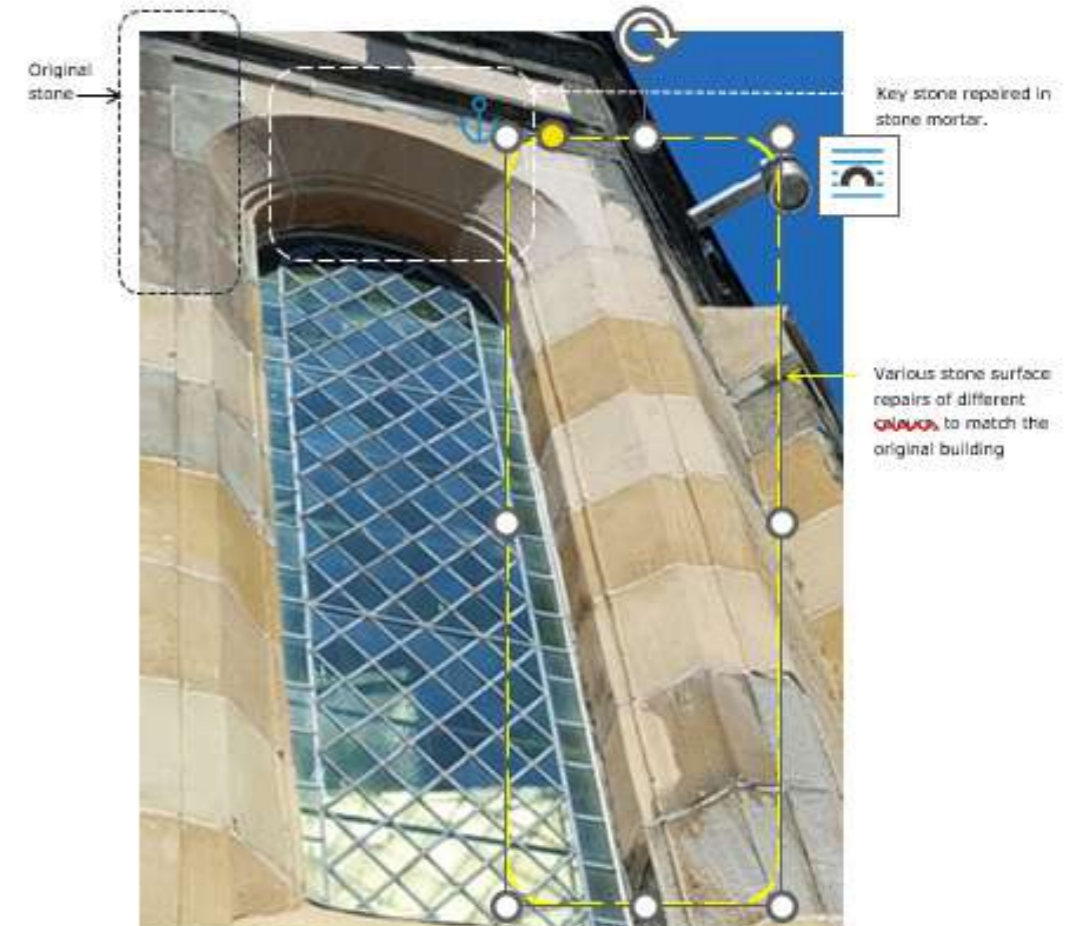
- The extent of various historic surface repairs carried out over the front elevation are extensive, more than 70% of the original surface (see photos 2 and 3). There is no consistency in the repair which has been detrimental to the visual appearance of the building. The colour, material used, pointing used and tooling of the repairs vary over the elevations, which suggests they were carried out at different times by different contractors with no common specification.
- The remaining existing stone on the principal elevations is greyish in appearance and some of this also appears to be starting to delaminate. Many of the original stone details have eroded and have been re-created with a stone repair mortar i.e. the stone edge profile of the inward and outward bands around the lancet windows.
- The existing stone is similar to that used in the surrounding buildings in this area and it is noticeable that the masonry in many of these buildings has similar delamination. Those nearer the shore have been rendered, probably to give weather protection to the masonry, indicating that the local climate is affecting masonry in this location.



Appearance of stone 1963, Image from Historic Scotland Photographic Libraray <http://canmore.org.uk/collection/1850017>



Appearance of stone 2025



Stone surface repairs carried out at different times and remaining areas of original stone

# 05.0 Freeman's Hall Stage 1 Inspection Report - Summary of Findings

## 05.5 Stage 1 Summary of findings from stone inspection process

- Most of the stone appears to be in good condition, and little has been lost.
- There is minor surface loss to the stone but only what would be expected for a building of this age.
- The stone features and tooling are visible.
- It was possible to identify many of the key features i.e. The surrounds of the clock face, lattice panels and lucarne window heads.
- The top course, through which a finial pole is threaded, appears to be concrete and not stone. The metal post section is corroded full length. It appears to be used for holding the base of the weathervane.
- The weathervane and the clock faces were not in the containers but we have since located the clocks with a specialist steeple clock repair company.
- We believe that this masonry, subject to the structural engineering assessment, could be used to re-construct the steeple.



Dismantled steeple stone held within secure containers at Ayr Police Station



Container 1



Container 2 and 3

# 05.0 Freeman's Hall Stage 1 Inspection Report - Reconstruction Options

## 05.6 Proposed Reconstruction Options

A structural feasibility study of the reinstatement options was carried out by Will Rudd Consulting Engineers, based on the findings of the condition survey. The study assesses options that are informed by further survey works and detailed research into traditional spire construction. Initial structural repairs will be required to the existing tower walls to allow any reconstruction of the steeple to be built. Our reconstruction proposals fall into two scenarios.

**Scenario 1** assumes that the existing structure can support the existing steeple. Option 1 falls into this category.

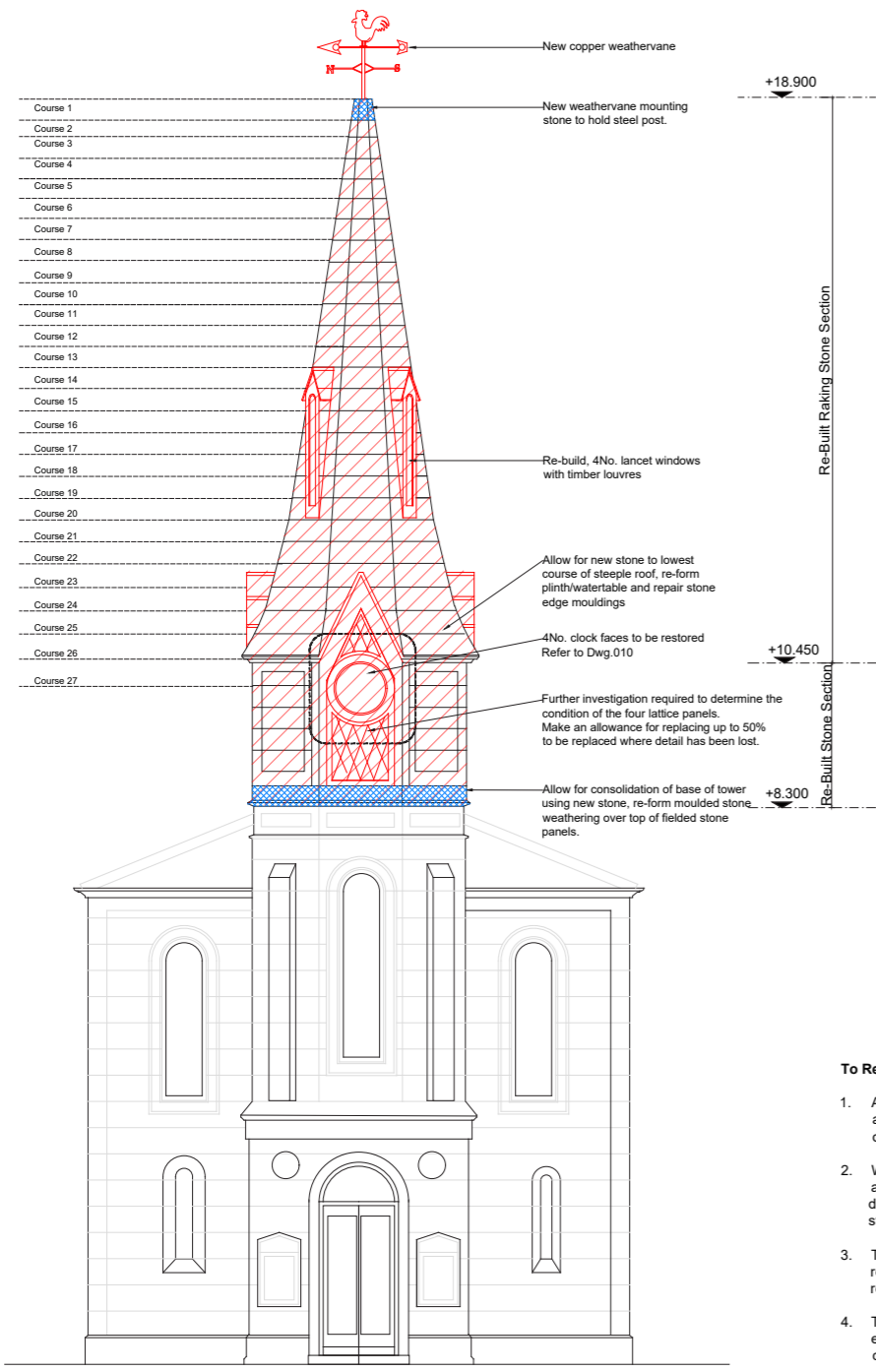
**Scenario 2** assumes that the survey works prove that the existing structural arrangement cannot support the stone steeple. Options 2, 4 and 4A fall into this category.

Project costs exclude: asbestos survey and removal; intrusive structural surveys and making good; repair works below the base of the steeple level; fabric repairs to the remaining Freeman's Hall; tender price inflation beyond 3Q 2025; statutory fees; professional fees; and VAT.

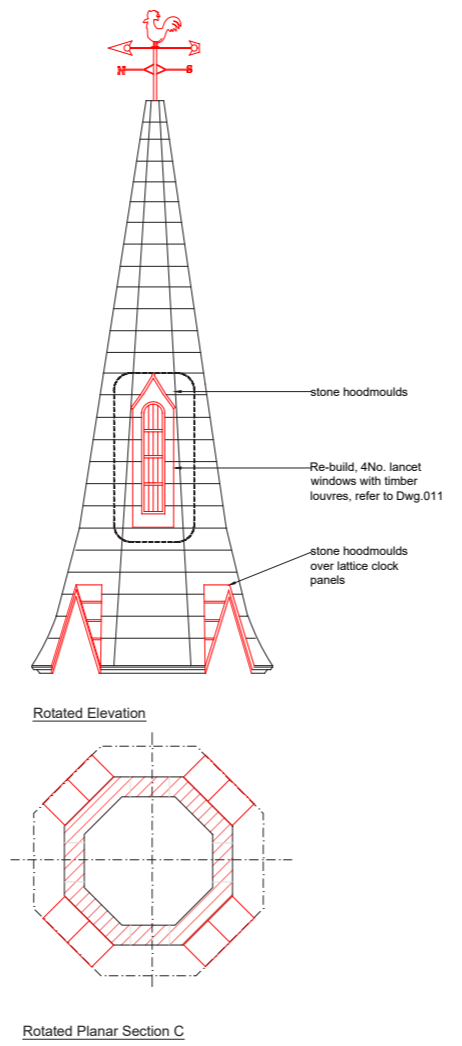
	OPTION 1	OPTION 2	OPTION 4	OPTION 4A
Proposal	Rebuild using existing stone	Rebuild using new stone	Rebuild using new slate or lead roof finish	Rebuild using new stone and slate or lead roof
New structure required	No	Yes	Yes	Yes
Impact on heritage significance	Low, recreates the original building	Low, recreates the original building but with new materials	High, uses new materials that are different to the original steeple. These match similar materials that are used in other local public buildings.	High, uses new materials that are different to the original steeple. These match similar materials that are used in other local public buildings.
Statutory consents required	Listed building consent	Listed building consent, building warrant	Listed building consent, planning permission, building warrant	Listed building consent, planning permission, building warrant
Cost Estimate	£515,000	£545,000	£345,000	£435,000

# 05.0 Freemen's Hall Stage 1 Inspection Report - Options 1 & 2

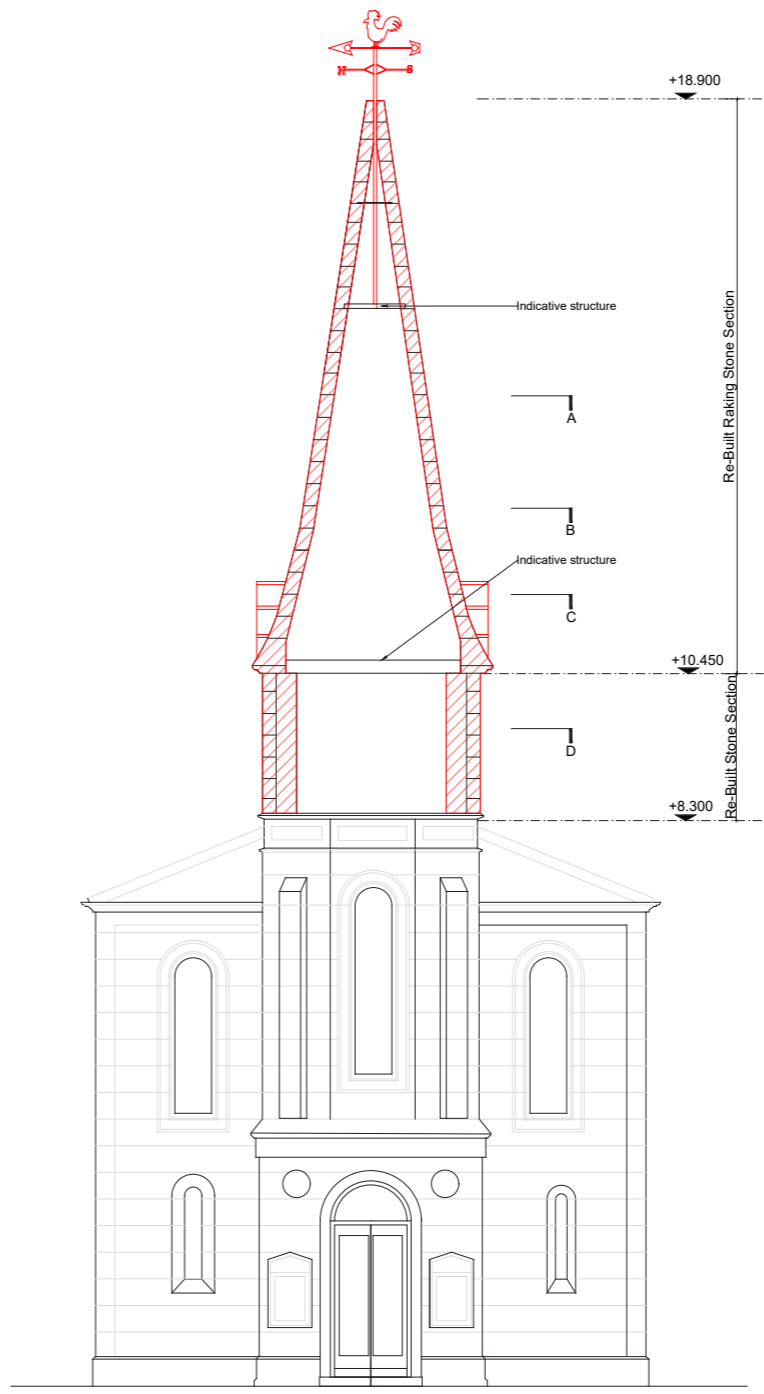
This drawing has been prepared using information provided by South Ayrshire Council and it is not the equivalent to a laser measured survey. All sizes cannot be confirmed until a detailed survey is carried out on the salvaged stone from the original steeple.



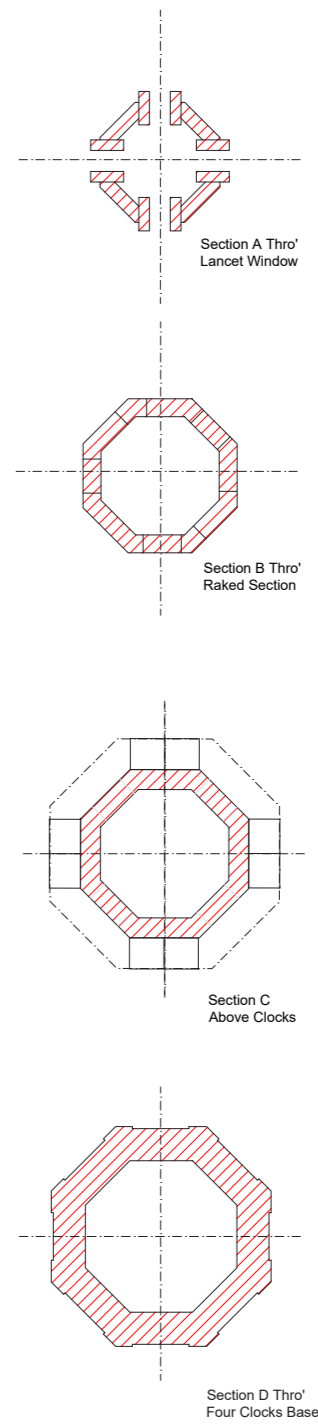
Front Elevation of Steeple Showing Extent of Re-build and Steeple Architectural Details  
Structural Scenarios 1 & 2  
1:50@A1



- To Re-Build Using Existing Stone:**
1. A full detailed survey of every stone to be carried out and condition recorded together with a complete schedule of stone sizes and repairs required.
  2. Where stone forming architectural features of the steeple are delaminating or much of the detail lost, replacement stone may be considered.
  3. The post within the mounting stone has rusted and is to be replaced, the mounting stone is concrete and is to be replaced.
  4. The weathering detail over the existing fielded panels has eroded consider replacement of base key stones and moulded weathering.



Section through Steeple Showing Extent of Re-build Structural Scenarios 1 & 2  
1:50@A1



Indicative Planar Sections

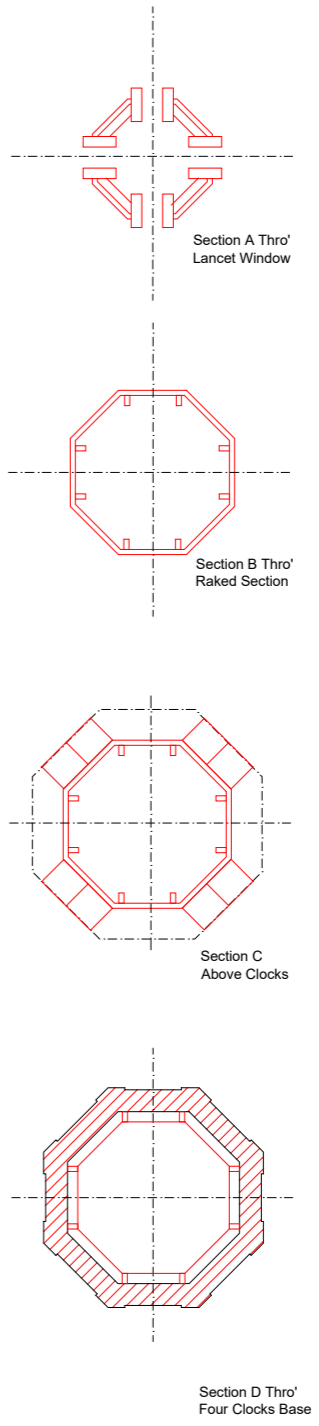
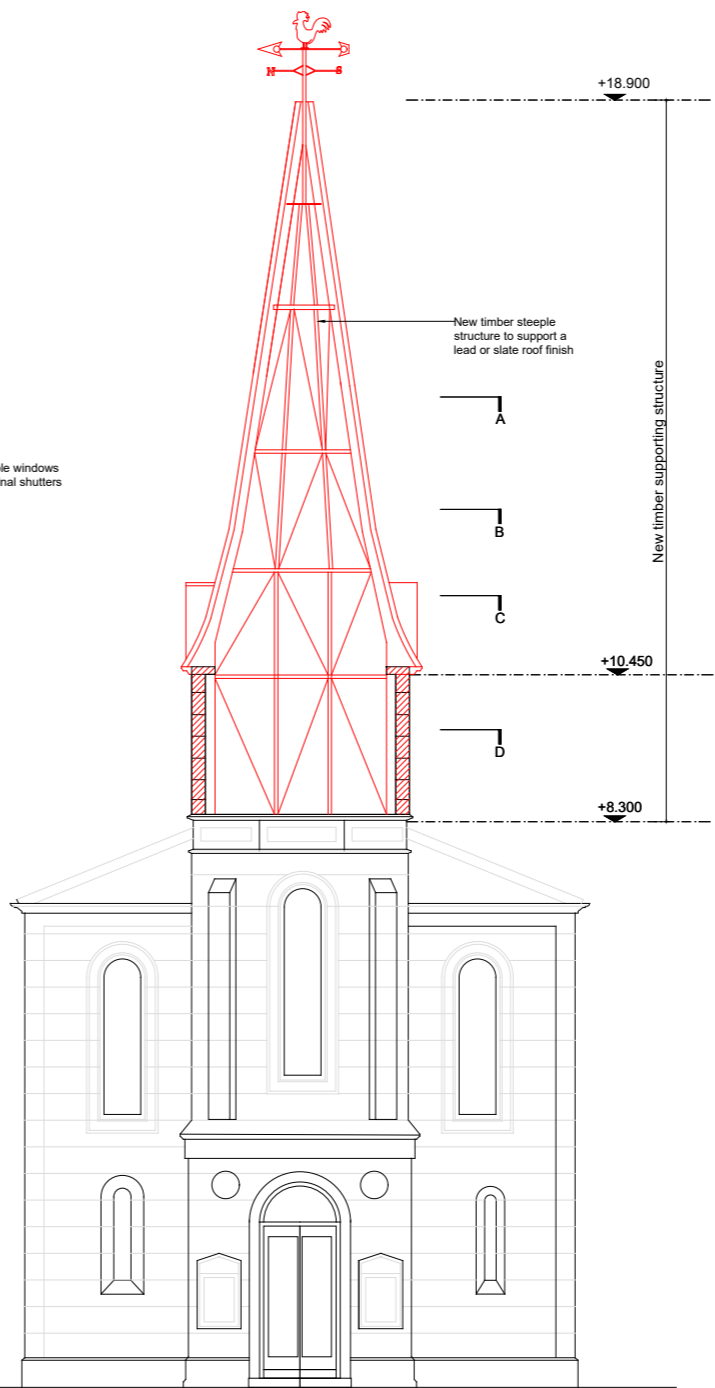
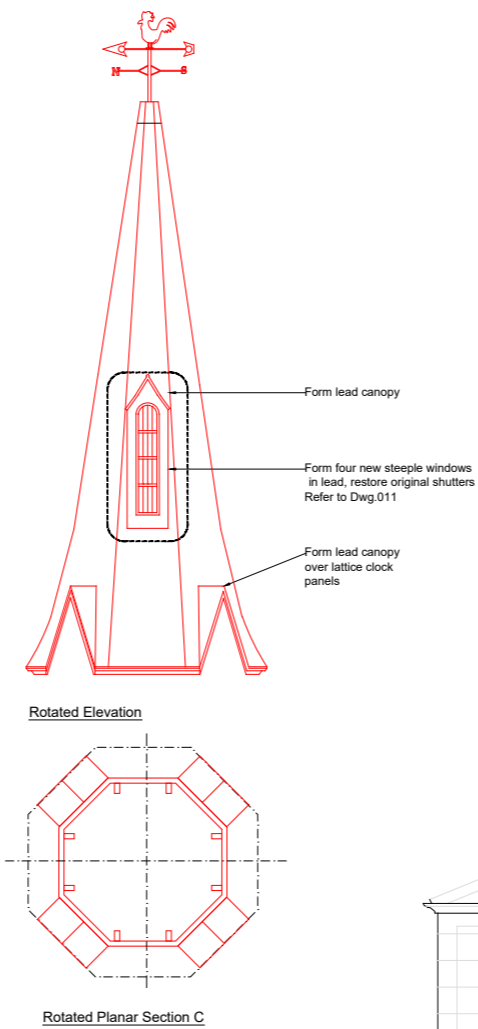
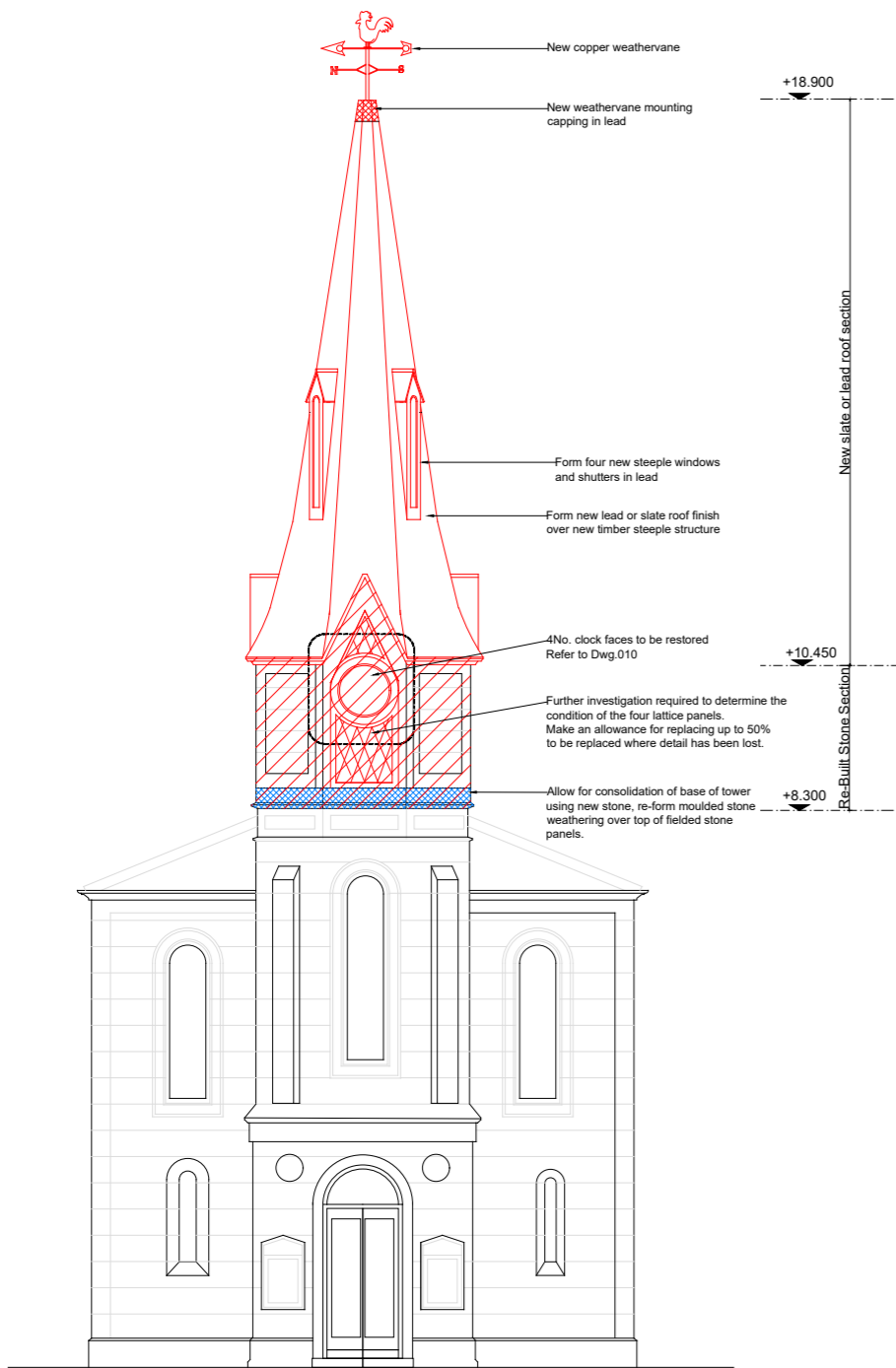
Revision	Description	By	Chkd	Date	Revision	Description	By	Chkd	Date

Drawn: MS  
Date: July 25  
Scale: 1:50@A1  
Status:   
Austin-Smith:Lord Ltd  
Architects Designers Planners  
Landscape Architects  
25 Bothwell Street  
Glasgow G2 6NL  
t 0141 223 8500  
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e glasgow@austinsmithlord.com

**Austin-Smith:Lord**  
Project: Prestwick Regeneration Stage 1  
Freemen's Hall Steeple  
Description: Steeple Re-Installation  
Options 1 & 2  
Job No: 225006  
Drawing No: ASL-XX-DR-A-002  
Revision:   
Number: 0015362

# 05.0 Freemen's Hall Stage 1 Inspection Report - Options 4 & 4A

This drawing has been prepared using information provided by South Ayrshire Council and it is not the equivalent to a laser measured survey. All sizes cannot be confirmed until a detailed survey is carried out on the salvaged stone from the original steeple.



Front Elevation of Steeple Showing Extent of Re-build and Steeple Architectural Details Structural Scenarios 4 & 4A

1:50@A1  
0 0.5 1 1.5 2 2.5m

Section through Steeple Showing Extent of Re-build Structural Scenarios 4 & 4A

1:50@A1  
0 0.5 1 1.5 2 2.5m

Indicative Planar Sections

Revision	Description	By	Chkd By	Date	Revision	Description	By	Chkd By	Date	Drawn	MB	Austin-Smith:Lord Ltd Architects Designers Planners Landscape Architects	Austin-Smith:Lord Project Freemans Hall Steeple Description Steeple Re-Instatement Options 4 & 4A
												25 Bothwell Street Glasgow G2 0NL t 0141 223 8500 f 0141 223 8501 e glasgow@austinsmithlord.com	Job No. 225006 Drawing No. ASL_XX-XX-DR-A-003 Revision

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**Austin-Smith:Lord**  
Project: Freemans Hall Steeple  
Description: Steeple Re-Instatement  
Options 4 & 4A  
Job No.: 225006  
Drawing No.: ASL\_XX-XX-DR-A-003  
Revision:

# 05.0 Freeman's Hall Stage 1 Inspection Report - Recommendations and Next Steps

## 05.7 Recommendations and Next Steps

That Option 1, to rebuild the steeple using the existing stone, is developed as the preferred option. This option assumes that approximately 20% of new stone will be required, as well as all of the stone currently stored in the containers beside Ayr Police Station.

There are five immediate next steps that will allow us to finalise these proposals and project costs:

1. Opening up work to allow an inspection of the structure below the steeple.
2. Analysis of the existing stone material by the Scottish Lime Centre Trust or equivalent stone testing laboratory.
3. Sourcing the remaining missing historic building fabric.
4. Analysis of the existing stone surface repair material.
5. Investigations into the existing roof finishes and structures.

We also propose to contact Historic Environment Scotland to update them on the current condition of the building, the existing materials that we have found and to establish that they will support these reconstruction proposals.

# 06.0 Freeman's Hall Stage 1 Structural Report - Existing Structural Arrangement

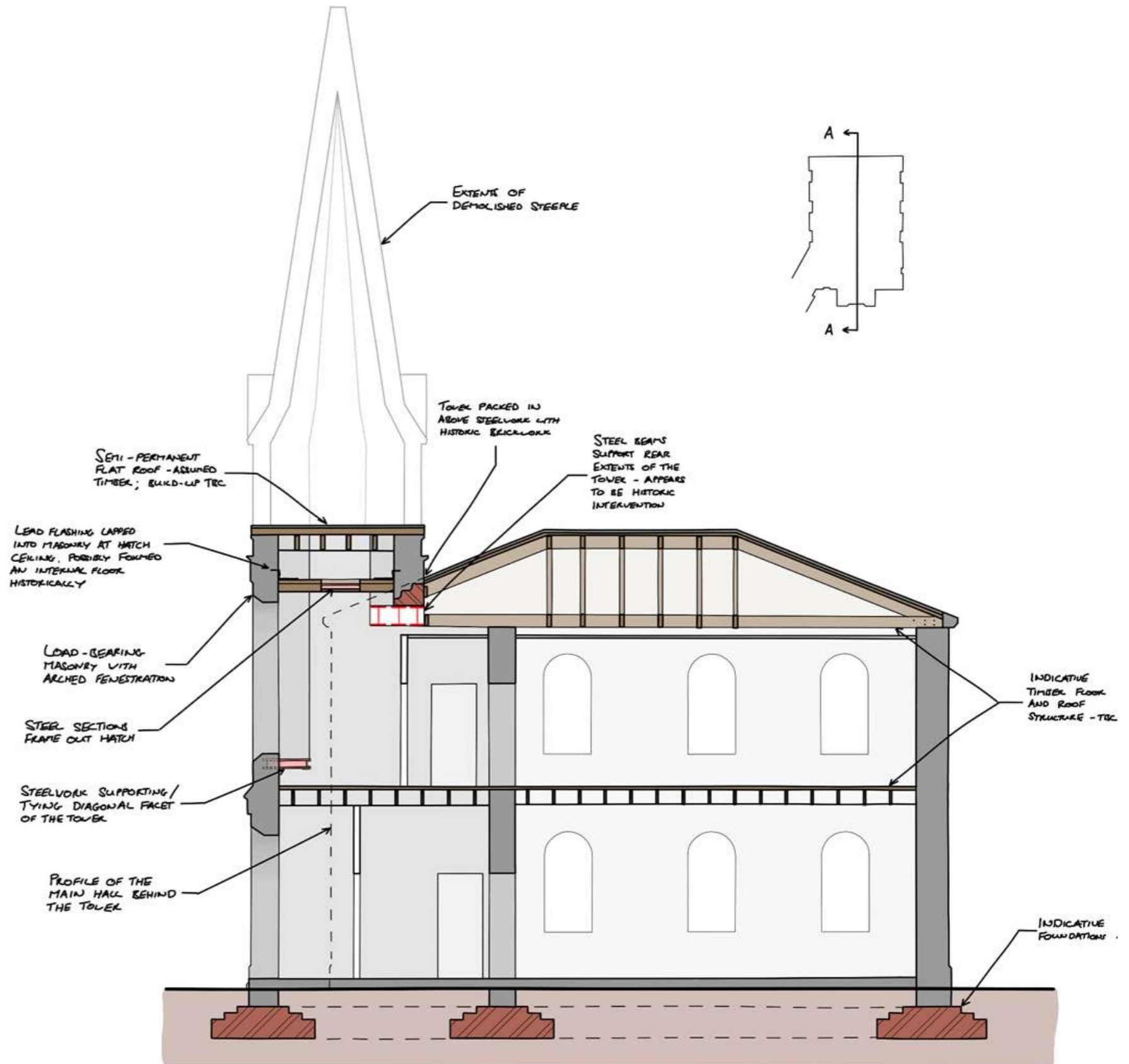
## Contents

- 06.1 Existing Structural Arrangement
- 06.2 Existing Structural Condition
- 06.3 Feasibility Study

## 06.1 Existing Structural Arrangement

A desk study was initially carried out to determine the structural arrangement of the Freeman's Hall, however no archive information was made available. Therefore, two surveys have been carried out on the Freemans Hall to establish the existing structural arrangement and condition as summarised below:

- The tower – and steeple - are not fully supported by mass masonry as initially expected.
- Our site visit revealed that steel beams have been historically installed to support approximately a third to the tower and above steeple.
- The steel beams are supported by adjacent masonry walls. These walls have large openings within them, so it is unclear if they have been designed for these loads.
- No information is available on the reasoning behind the steeple demolition; therefore, it is unclear whether the differing support conditions was a factor in the structural concerns.
- Cognisance of this arrangement must be taken when considering the feasibility options for the steeple.



SECTION A-A THROUGH TOWER STRUCTURE  
NTS (INDICATIVE)

Figure 1 - Indicative Structural Arrangements Observed On-Site

# 06.0 Freeman's Hall Stage 1 Structural Report - Existing Structural Condition

## 06.2 Existing Structural Condition

A structural condition report has been conducted to catalogue all observed defects and associated recommendations. Refer to G9783-WRD-XX-XX-RP-S-00001\_01 for Will Rudd's detailed findings and recommendations. See below a list of key observations:

- The steel beams discussed above were observed to be corroded. There were signs of water ingress in the surrounding roof space.
- Cracking to the masonry was observed internally within the tower.
- Externally, spalling, delamination and weathering was observed on each elevation.
- Unsympathetic surface repairs have been carried out historically to the external masonry.
- Wide, open mortar joints and cracking was externally observed on the main building – especially surrounding the arched windows and upper cornicing course.
- Signs of water ingress were observed on the semi-permanent flat roof. It is likely approaching the end of its design life.
- The steeple stones, stored in Ayr, were in better condition than expected. They could only be partially observed and could not be moved. It is likely that they can be at least partially reused following redressing from a suitably qualified stone mason. Material testing of the stone is recommended to understand its properties/suitability.



Figure 2 – Corroded Steel Beams supporting the tower

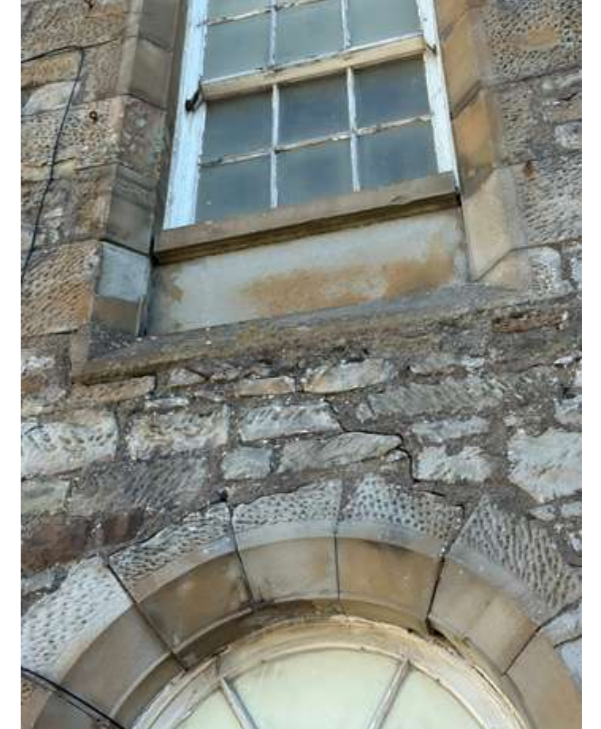


Figure 4 – Movement of voussoir stones causing cracking above



Figure 3 – Crack formations on the western facet (highlighted in yellow)



Figure 5 – Stones from demolished steeple observed in storage

# 06.0 Freeman's Hall Stage 1 Structural Report - Feasibility Study

## 06.3 Feasibility Study

A structural feasibility study of the reinstatement options is currently being conducted based on the findings of the condition survey. The study will assess options that will be informed by further survey works and detailed research into traditional spire construction.

Scenario 1 assumes that the existing structure can support the existing steeple. The following option in this scenario will be considered:

- Option 1 will assess a like-for-like reinstatement with additional structure to consolidate the stability of the steeple itself.
- Scenario assumes that the survey works prove that the existing structural arrangement cannot support the stone steeple. The following option in this scenario will be considered:
- Option 2 will look into the feasibility of strengthening of the existing structural fabric to support the steeple which will then be constructed as per option 1.
- Option 3 will investigate a new structural arrangement to support the steeple.
- Option 4 will look into a new light-weight steeple supported by the existing structure.
- High level commentary and sketches will be provided for all feasibility options with all assumptions noted.

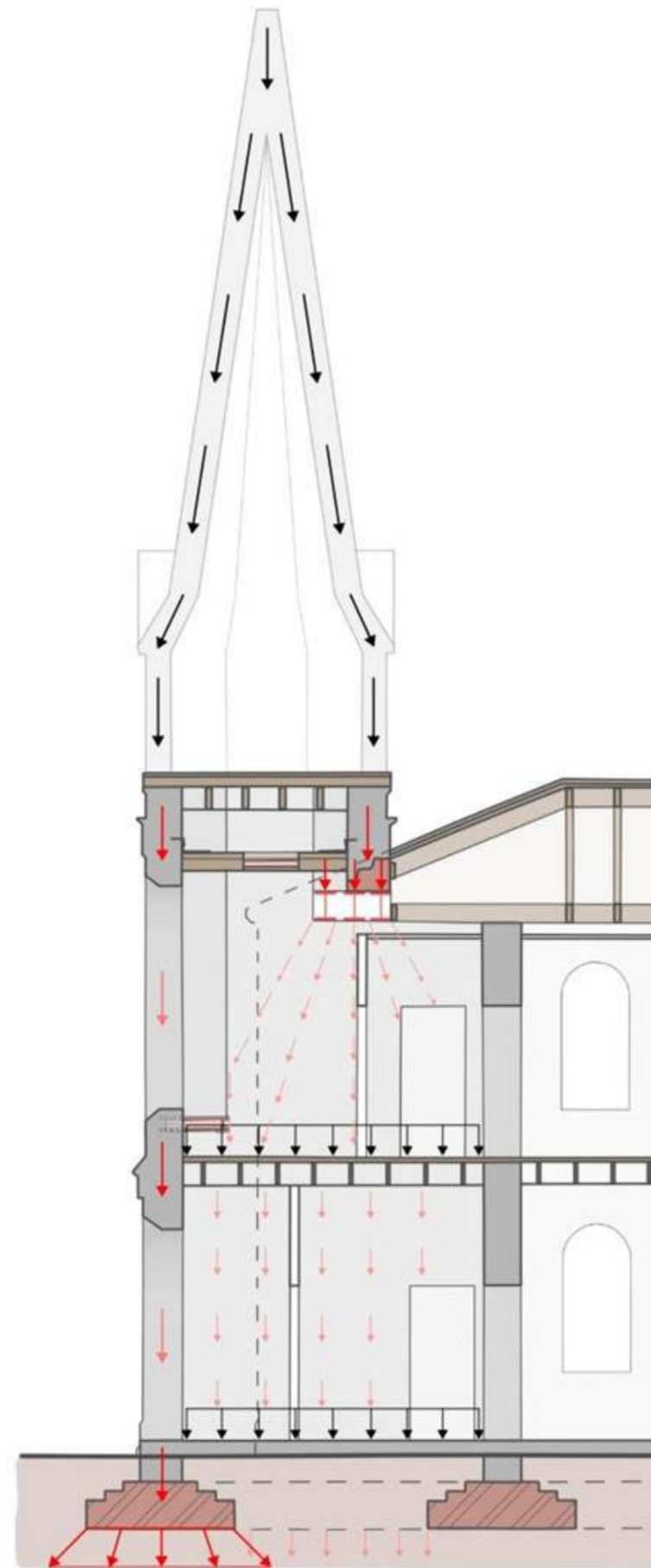
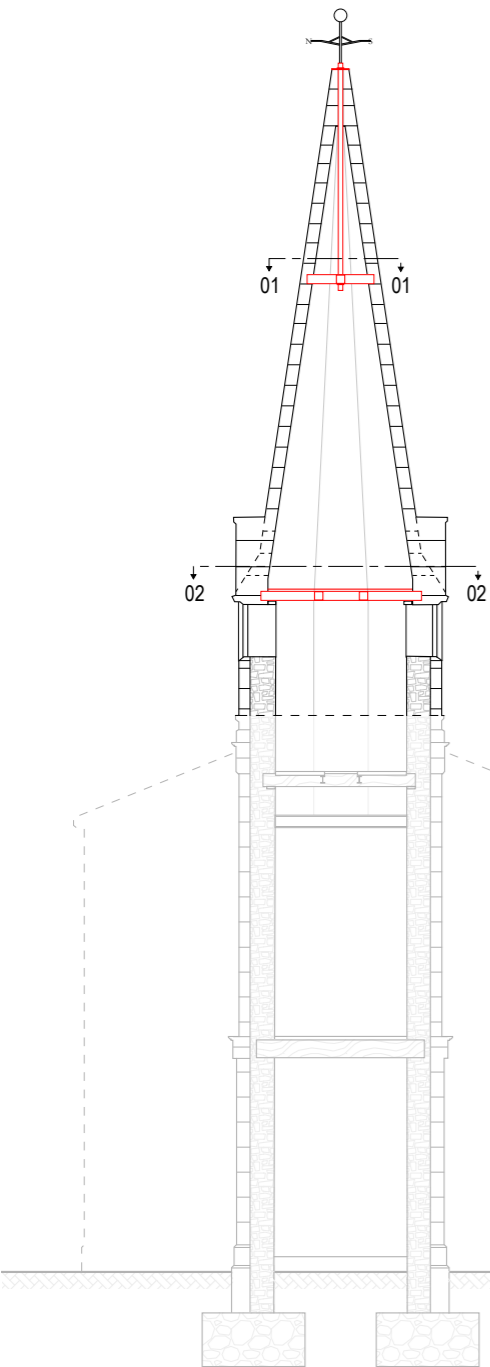


Figure 6 - Indicative loadpath of the existing arrangement

# 06.0 Freeman's Hall Stage 1 Structural Report - Option 1

**NOTE:** No detailed calculative assessment of the structure has been carried out at this stage. This sketch shows design intent only. Specifications and section sizes shown are indicative and are subject to change following verification of the existing structural system and detailed design.



**SECTION A-A - OPTION 1 REINSTATEMENT**  
NTS

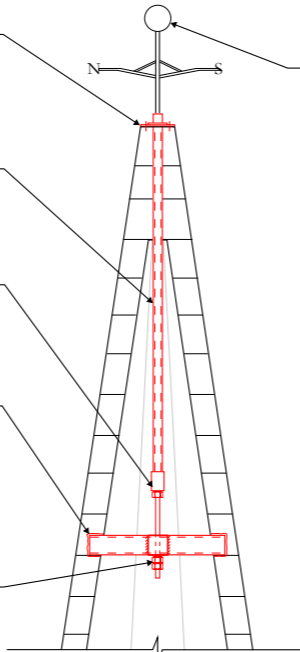
Stainless steel plate to be fixed to spire tip with resin anchors.

Stainless Steel CHS member fixed to plate at spire tip.

CHS section connected to stainless steel threaded rod.

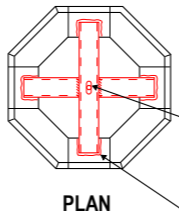
Masonry cut to allow for steel beam bearing pockets.

Threaded rod secured tightly to cross-tree with lock nuts and locking compound to engage all masonry between the tip plate and the cross tree.



**DETAIL 01 - SPIRE TIP RESTRAINT**  
NTS

Weather vane itself to be independent of the below rod to allow for rotation in the wind.



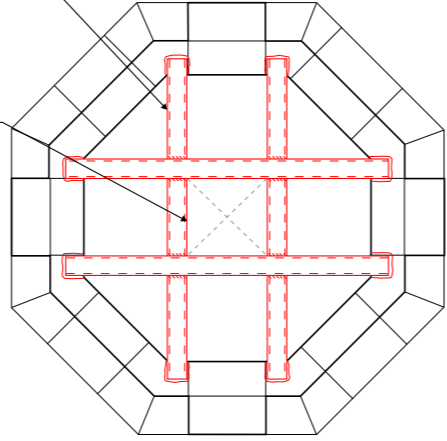
PLAN

Slotted hole to be formed through centre of the arrangement to allow for alignment of the threaded rod.

Stainless steel "cross-tree" arrangement to be formed of 3no. stainless steel SHS sections welded together off site.

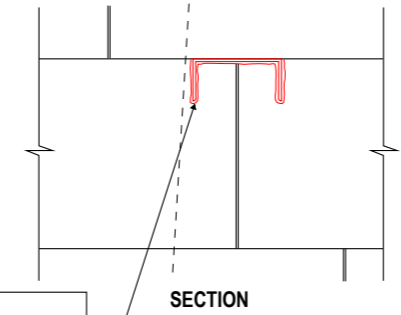
Stainless steel base restraint arrangement to be formed of 8no. stainless steel SHS sections welded together off site.

Grillage to be topped with treated OSB Board. Central bay to be used for access hatch.



**DETAIL 02 - SPIRE BASE STRUCTURE**  
NTS

Stainless steel "dog-cramp" fixed to masonry with compatible resin or traditional lead.



**DETAIL 03 - MASONRY CRAMP DETAILS**  
NTS

**NOTES**  
Refer to Report G9783-WRD-XX-XX-RP-S-00003\_01 for commentary on this reinstatement option.

This option relies on the assumption that the existing tower structure is proven to be suitable to support the load of the steeple reinstatement as shown.

All reused masonry to be assessed for structural suitability ahead of construction.

All steel members to be formed of stainless steel.

All welds shown to be carried out off site.

Pockets for the steel members and insets for cramps to be formed in the masonry by suitably qualified stone mason while redressing of the original masonry is undertaken.

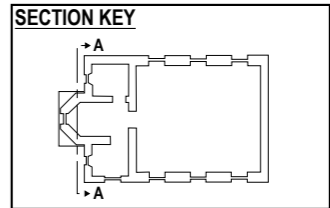
Allow for cramp detail as shown in Detail 01 and 02.

- GENERAL NOTES**
- DO NOT SCALE FROM THIS DRAWING - IF IN DOUBT CONTACT PROJECT ENGINEER.
  - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
  - ALL LEVELS ARE IN METRES.
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  - THE CONTRACTOR IS TO CONFIRM THE EXISTING BOUNDARY AND SITE STRUCTURES ETC. PRIOR TO COMMENCING THE WORKS AND IMMEDIATELY INFORM THE SUPERVISING OFFICER SHOULD THESE BE AT VARIANCE WITH THE ASSUMPTIONS SHOWN ON THE DRAWING.

**ALL DIMENSIONS SHOWN ON THIS DRAWING ARE TO BE VERIFIED BY THE ARCHITECT PRIOR TO FABRICATION / MANUFACTURE / CONSTRUCTION**

CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015

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P01	INFORMATION	ARH	03/07/25	GC	03/07/25
ISSUE	DETAILS	BY	DATE	CHK	DATE

STATUS:  
**INFORMATION**

PROJECT: PRESTWICK REGENERATION  
CLIENT: AUSTIN-SMITH:LORD

TITLE:  
**FREEMANS HALL - STEEPLE REINSTATEMENT OPTION 1**

DRAWN BY:	ARH	DATE:	30/06/2025
CHECKED BY:	GC	DATE:	30/06/2025
SCALE:	NTS	SHEET SIZE:	A3

PROJECT ORIG. VOL. LEVEL TYPE ROLE No. REV  
**G9783 - WRD - XX - XX - SK - S - 00003 P01**

# 06.0 Freeman's Hall Stage 1 Structural Report - Option 2

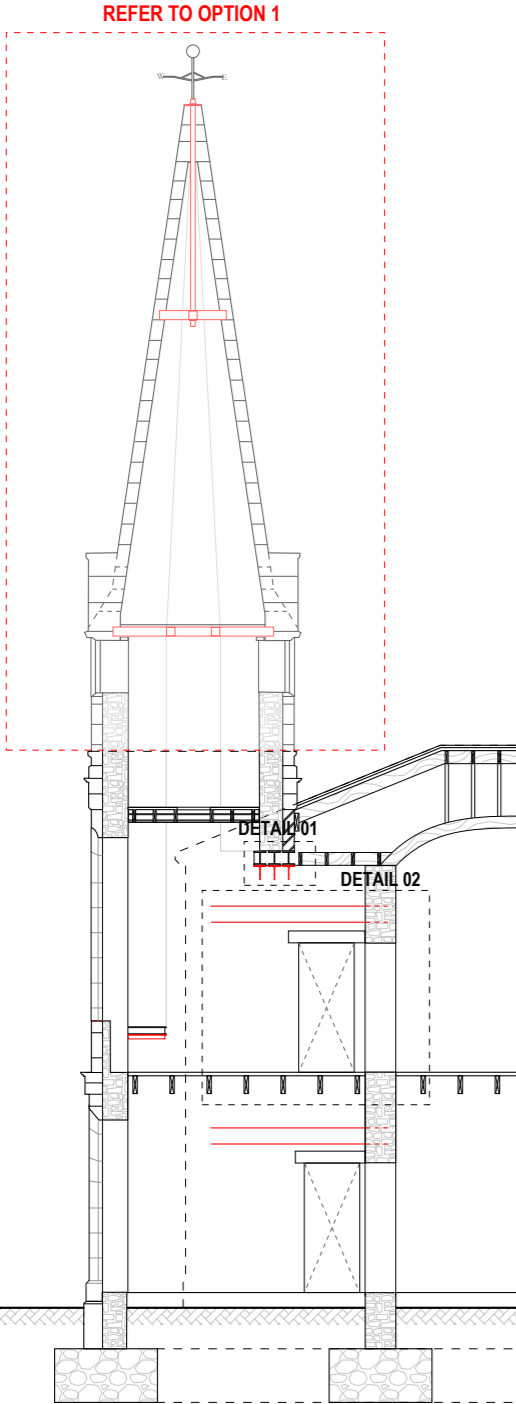
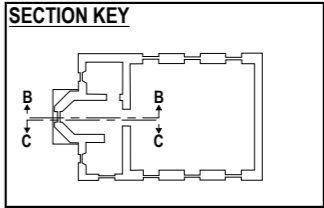
**NOTE:** No detailed calculative assessment of the structure has been carried out at this stage. This sketch shows design intent only. Extent and specifications of strengthening work shown is indicative and subject to change following verification of the existing structural system and detailed design.

**NOTES**  
Refer to Report G9783-WRD-XX-XX-RP-S-00003\_01 for commentary on this reinstatement option.  
  
This option relies on the assumption that the existing tower structure requires localised structural strengthening to support the load of the steeple reinstatement as shown.  
  
Refer to Option 1 for the steeple reinstatement that will be used following the strengthening works shown.

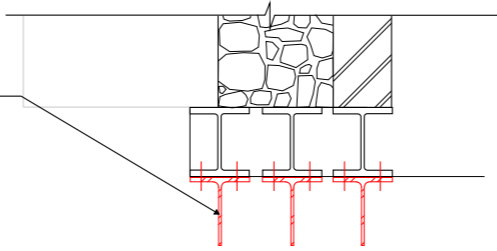
- GENERAL NOTES**
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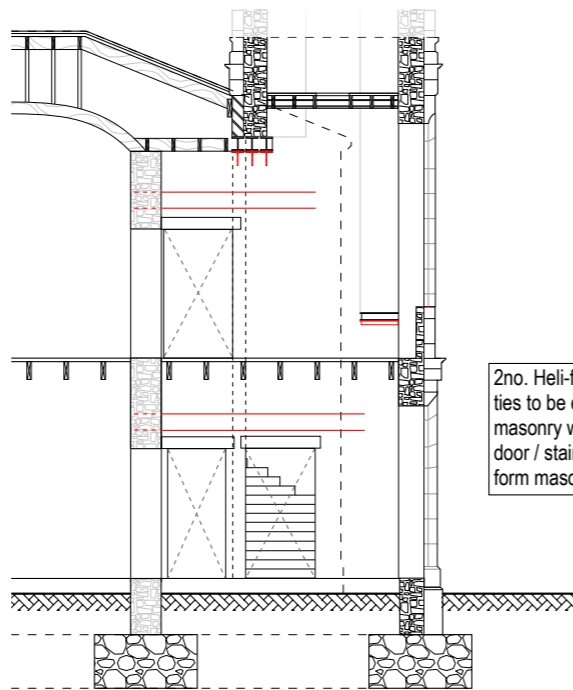
**CONSTRUCTION (DESIGN AND MANAGEMENT) REGULATIONS 2015**  
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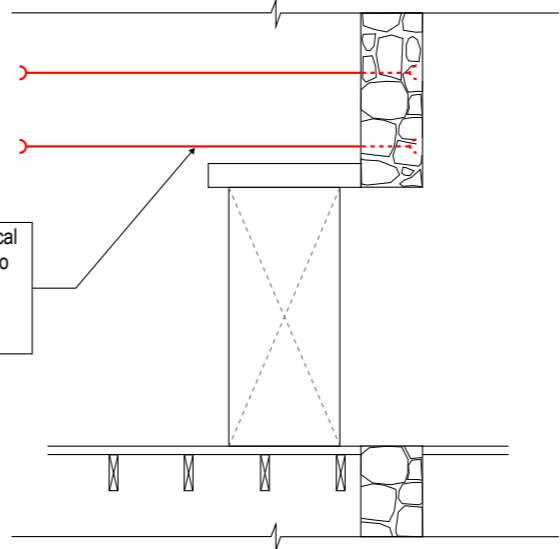
3no. Steel sections bolted to bottom flange of existing beams. Can be replaced by plates depending on level of strengthening required.



**DETAIL 01 - STEEL BEAM STRENGTHENING**  
NTS



2no. Heli-fix (EOA) helical ties to be embedded into masonry wall above all door / stair openings to form masonry "beams".



**DETAIL 02 - WALL OPENING STRENGTHENING**  
NTS

**SECTION B-B - OPTION 2 REINSTATEMENT**  
NTS

**SECTION C-C - OPTION 2 REINSTATEMENT**  
NTS

P01	INFORMATION	ARH	03/07/25	GC	03/07/25
ISSUE	DETAILS	BY	DATE	CHK	DATE

STATUS:  
**INFORMATION**

PROJECT: **PRESTWICK REGENERATION**  
CLIENT: **AUSTIN-SMITH:LORD**

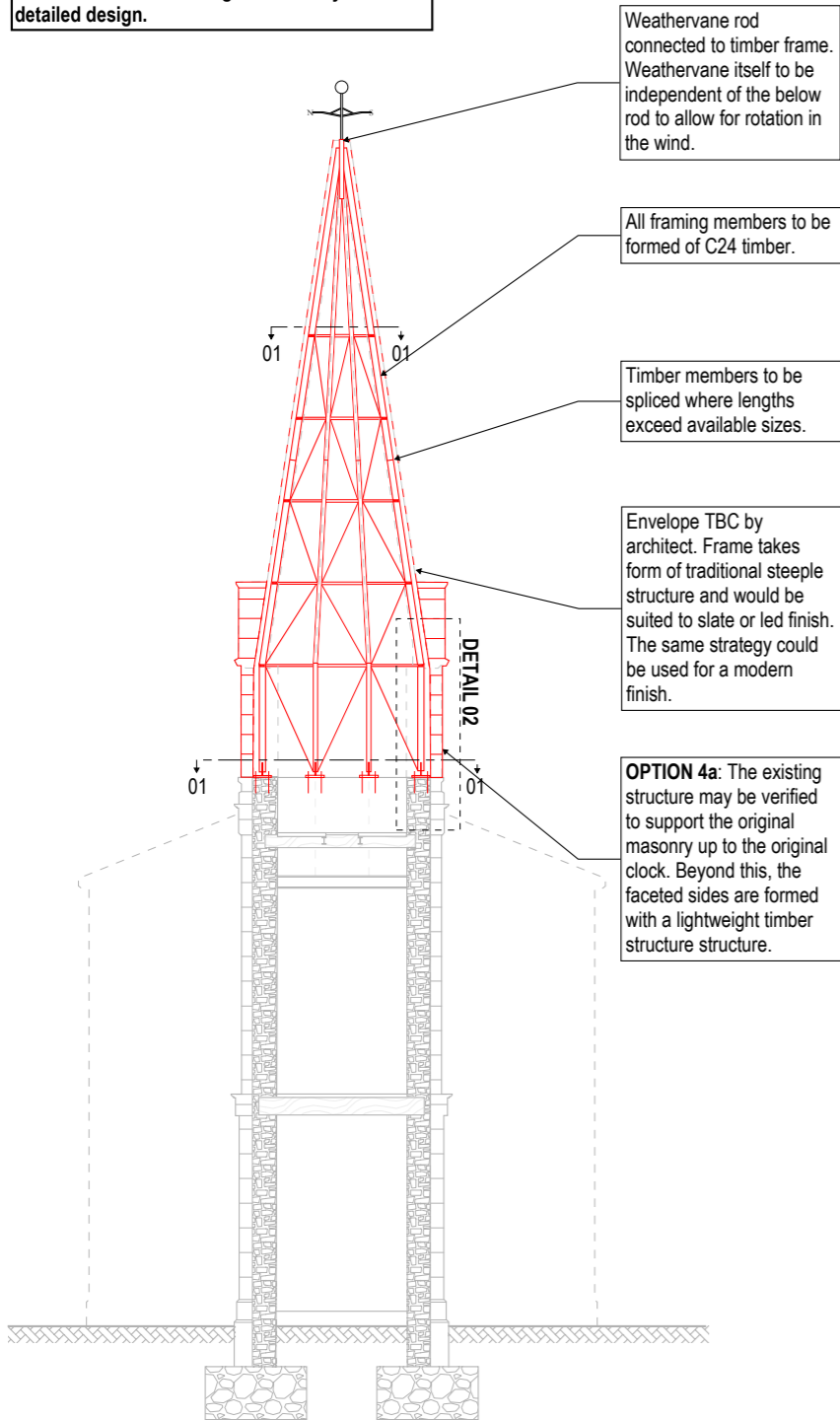
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**FREEMANS HALL - STEEPLE REINSTATEMENT OPTION 2**

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CHECKED BY:	GC	DATE:	30/06/2025
SCALE:	NTS	SHEET SIZE:	A3

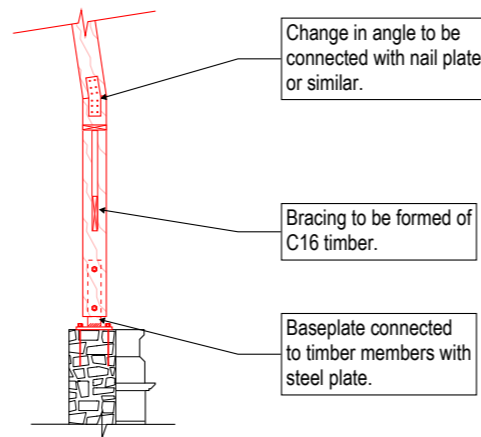
PROJECT	ORIG.	VOL.	LEVEL	TYPE	ROLE	No.	REV
G9783 - WRD - XX - XX - SK - S						00004	P01

# 06.0 Freeman's Hall Stage 1 Structural Report - Options 4 & 4A

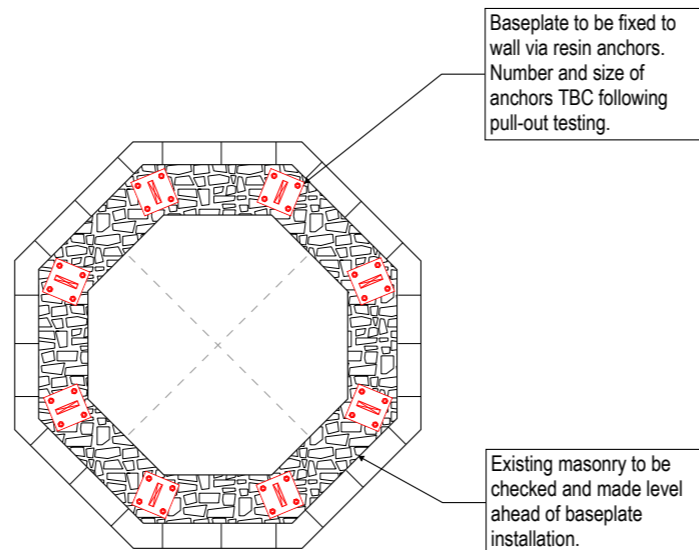
**NOTE:** No detailed calculative assessment of the structure has been carried out at this stage. This sketch shows design intent only. Extent and specifications of strengthening work shown is indicative and subject to change following verification of the existing structural system and detailed design.



**SECTION A-A - OPTION 4 REINSTATEMENT**  
NTS



**DETAIL 02 - TIMBER FRAME**  
NTS



**DETAIL 01 - BASEPLATE ARRANGEMENT**  
NTS

**NOTES**

Refer to Report G9783-WRD-XX-XX-RP-S-00003\_01 for commentary on this reinstatement option.

This option relies on the assumption that the existing tower structure is not proven to be suitable to support the load of the masonry steeple. Therefore, this design is for a lighter weight steeple replacement.

All members formed of treated C24 timber.

Various architectural finishes would be compatible with this option ie. slate or lead.

Option 4a describes a possibility of partially reuse of the reclaimed masonry while the tapered steeple itself is constructed with the light-weight timber frame as shown.

**GENERAL NOTES**

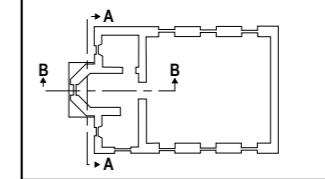
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**SECTION KEY**



P01	INFORMATION	ARH	03/07/25	GC	03/07/25
ISSUE	DETAILS	BY	DATE	CHK	DATE

STATUS:  
**INFORMATION**

**Will Rudd**  
Consulting Structural & Civil Engineers  
0141 248 4866  
ruddconsult.com  
Will Rudd Develop Ltd  
100 Brunel Rd, Glasgow, G11P

PROJECT: PRESTWICK REGENERATION

CLIENT: AUSTIN-SMITH:LORD

TITLE:  
**FREEMANS HALL - STEEPLE REINSTATEMENT OPTION 4**

DRAWN BY: **ARH** DATE: **30/06/2025**

CHECKED BY: **GC** DATE: **30/06/2025**

SCALE: **NTS** SHEET SIZE: **A3**

PROJECT	ORIG.	VOL.	LEVEL	TYPE	ROLE	No.	REV
G9783 - WRD - XX - XX - SK - S - 00006							P01

# 06.0 Freeman's Hall Stage 1 Structural Report - Feasibility Summary



## 7.0 Feasibility Summary

The below table summarises the reinstatement options and ranks them from 5 on the following categories: Likelihood of Success, Buildability, Conservation Sensitivity, Cost, Sustainability and Risk. This is simply an outline summary of the schemes and is in no way intended to discount any of the schemes before

the intrusive survey works have been conducted but is rather intended to highlight the constraints and opportunities of each option.

Completing the survey works will greatly derisk all remaining suitable schemes and improve their likelihood of success. A flow chart outlining a prudent decision making process for the next steps has been provided in

	Masonry Steeple Reinstatement	Strengthening of Existing Structure to Support the Masonry Steeple	New Steel Structure to Support the Masonry Steeple	New Lightweight Steeple Construction
(refer to flowchart)	This option relies on the survey works verifying that the tower structure is suitable to support the steeple.	This option improves upon option 1, as the tower structure below is being strengthened and therefore is more likely to be able to support the steeple.	As this option involved a new structure, it can be designed as such that we can confirm that it is suitable to carry the loads from the steeple.	Reducing the load from the steeple improves the likelihood of the tower being able to support the required
(refer to Section)	This option involves no structural intervention to the existing building. It is the closest option for simply reinstating the steeple.	This option is similar to option 1 but requires some structural strengthening.	This option requires the most significant structural intervention, including complex internal groundworks.	Construction of a new timber framed steeple should be a comparatively straightforward construction process. Members can be prefabricated and craned into place.
	This is essentially a like for like replacement of the steeple however, some modern members will be used within the steeple to ensure long term structural	Similarly, this is a sensitive reinstatement, however, any temporary removal of historic lath and plaster finishes.	While this option will externally maintain the appearance of the historic masonry steeple, the new steel frame will change the internal character of the building.	Although this option results in replacing the steeple, it can be done in a way that matches construction methods of the time and using materials that match the character of the surrounding area.
	This option involves redressing the existing masonry and the fabrication of local stainless steel	In addition to the costs incurred by option 1, this option involves the cost of additional structural strengthening.	This option incurs the costs relating to fabrication of a new steel frame with associated foundations in addition to the redressing of the masonry. <b>this option unfeasible</b>	Construction costs of a timber framed steeple will be lower than that of the reconstruction of the masonry steeple. However, this option does not include reused
	Low embodied carbon due to quantity of reclaimed construction material and minimal new members.	Similar to option 1 with a very slight increase in embodied carbon associated with additional strengthening	Significant amount of embodied carbon due to large quantity of new steel and new RC foundations.	Lack of reuse and quantity of new construction material is detrimental to the sustainability of this scheme. Use of timber somewhat offsets this.
	This option relies the most on the existing structure supporting the full weight of the steeple which means less calculative assurance of the system	Providing structural strengthening to the existing system derisks this scheme compared with option 1.	This is the option that provides most control over the steeple support system, however the ground works due to the change in load path may disturb the existing	weight structure can be designed to suit the capacity of the existing structure, reducing the risk of overstressing the tower. The most significant risk of this option is that the new materials will require further statutory approvals from HES

# **07** Assessment of Options

# 07.1 Potential Assessment Process

<b>Options</b> <b>Success Criteria</b>	<b>Promenade Bathing Lake Option 1</b> <b>£926,000</b>	<b>Promenade Bathing Lake Option 2</b> <b>£3,426,000</b>	<b>Promenade Bathing Lake Option 3</b> <b>£3,962,000</b>	<b>Promenade Gateways</b> <b>£841,000</b>	<b>Promenade Core Area, General + Artworks</b> <b>£256,000</b>
<b>Strategic Alignment</b>					
<b>Score</b>					
<b>Economic Impacts</b>					
<b>Score</b>					
<b>Viability</b>					
<b>Score</b>					
<b>Social and Community Benefits</b>					
<b>Score</b>					
<b>Risk and Uncertainty</b>					
<b>TOTAL SCORE</b>					

A score is allocated to each option in how well it can achieve the success criteria.

- Score**
- 1: Limited or No Impact
  - 2: Limited Impact
  - 3: Likely to achieve some impact
  - 4: Confident the option will fulfil most of the criteria
  - 5: Option is near to maximise this criteria

# 07.1 Potential Assessment Process

<b>Options</b>	<b>Promenade</b>	<b>Promenade</b>	<b>Promenade</b>	<b>Promenade</b>	<b>Promenade</b>
<b>Success Criteria</b>	Bathing Lake Option 1 <b>£926,000</b>	Bathing Lake Option 2 <b>£3,426,000</b>	Bathing Lake Option 3 <b>£3,962,000</b>	Gateways <b>£841,000</b>	Core Area, General + Artworks <b>£256,000</b>
Potential additional funding sources					
Score					
Statutory Consents					
Score					
Timescales					
Score					
Support recorded through previous consultation process					
Score					
Budget					
<b>TOTAL SCORE</b>					

A score is allocated to each option in how well it can achieve the success criteria.

- Score**
- 1: Limited or No Impact
  - 2: Limited Impact
  - 3: Likely to achieve some impact
  - 4: Confident the option will fulfil most of the criteria
  - 5: Option is near to maximise this criteria

# 07.1 Potential Assessment Process

Options Success Criteria	Promenade Bathing Lake Option 1	Promenade Bathing Lake Option 2	Promenade Bathing Lake Option 3	Promenade Gateways	Promenade Core Area, General + Artworks
	£926,000	£3,426,000	£3,962,000	£841,000	£256,000
Score					
Score					
Score					
Score					
<b>TOTAL SCORE</b>					

A score is allocated to each option in how well it can achieve the success criteria.

- Score**
- 1: Limited or No Impact
  - 2: Limited Impact
  - 3: Likely to achieve some impact
  - 4: Confident the option will fulfil most of the criteria
  - 5: Option is near to maximise this criteria

# 07.1 Potential Assessment Process

Options Success Criteria	Promenade Bathing Lake Option 1 <b>£926,000</b>	Promenade Bathing Lake Option 2 <b>£3,426,000</b>	Promenade Bathing Lake Option 3 <b>£3,962,000</b>	Promenade Gateways <b>£841,000</b>	Promenade Core Area, General + Artworks <b>£256,000</b>
Score page 1					
Score page 2					
Score page 3					
<b>TOTAL SCORE</b>					

Based on the information provided do you have a preference for which project should be progressed:

The Freeman’s Steeple       The Promenade       Both       Neither

Comments .....

.....

.....

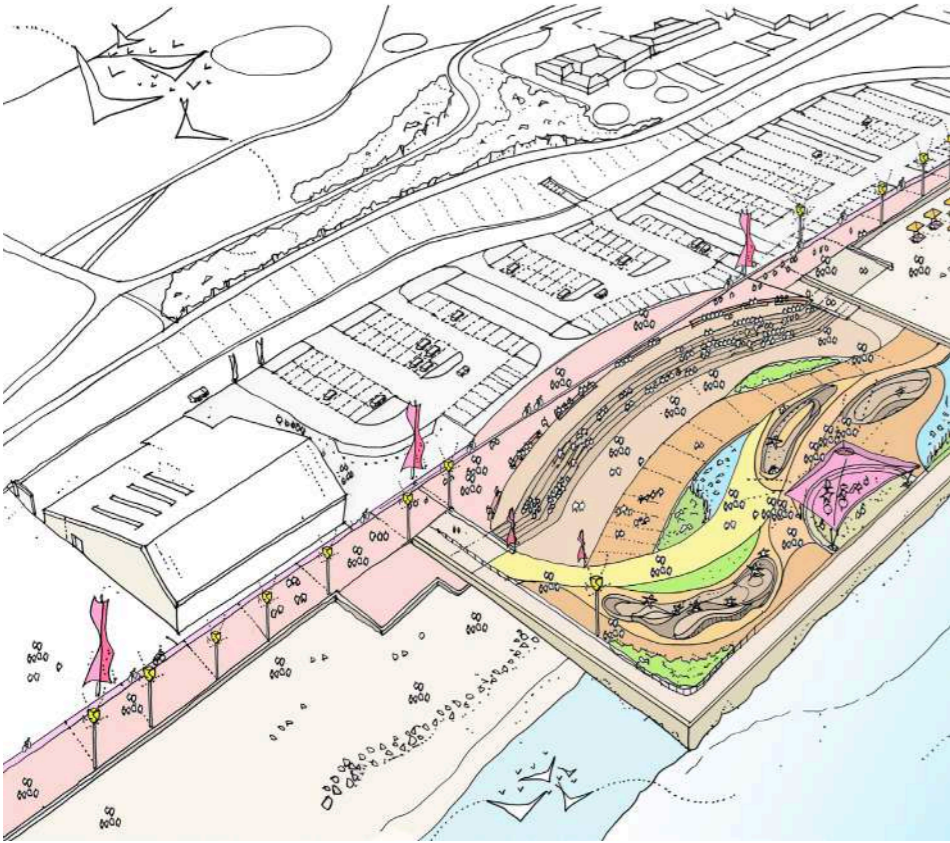
Do you think an alternative approach should be taken or have any other comments:

.....

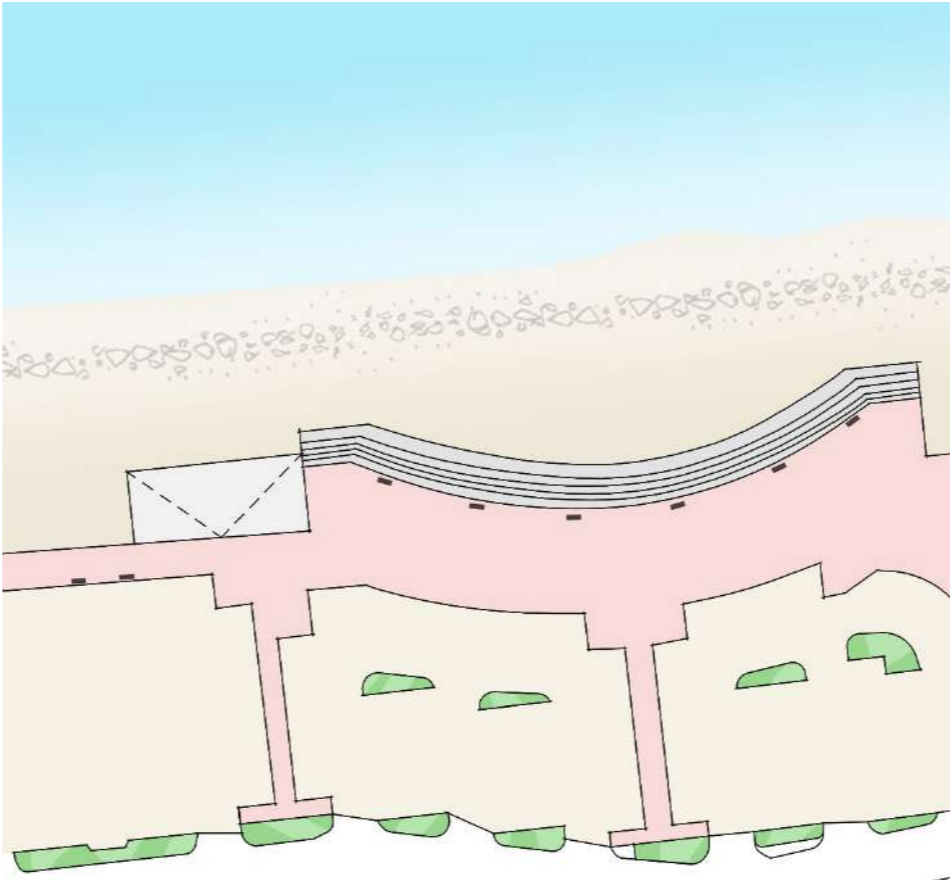
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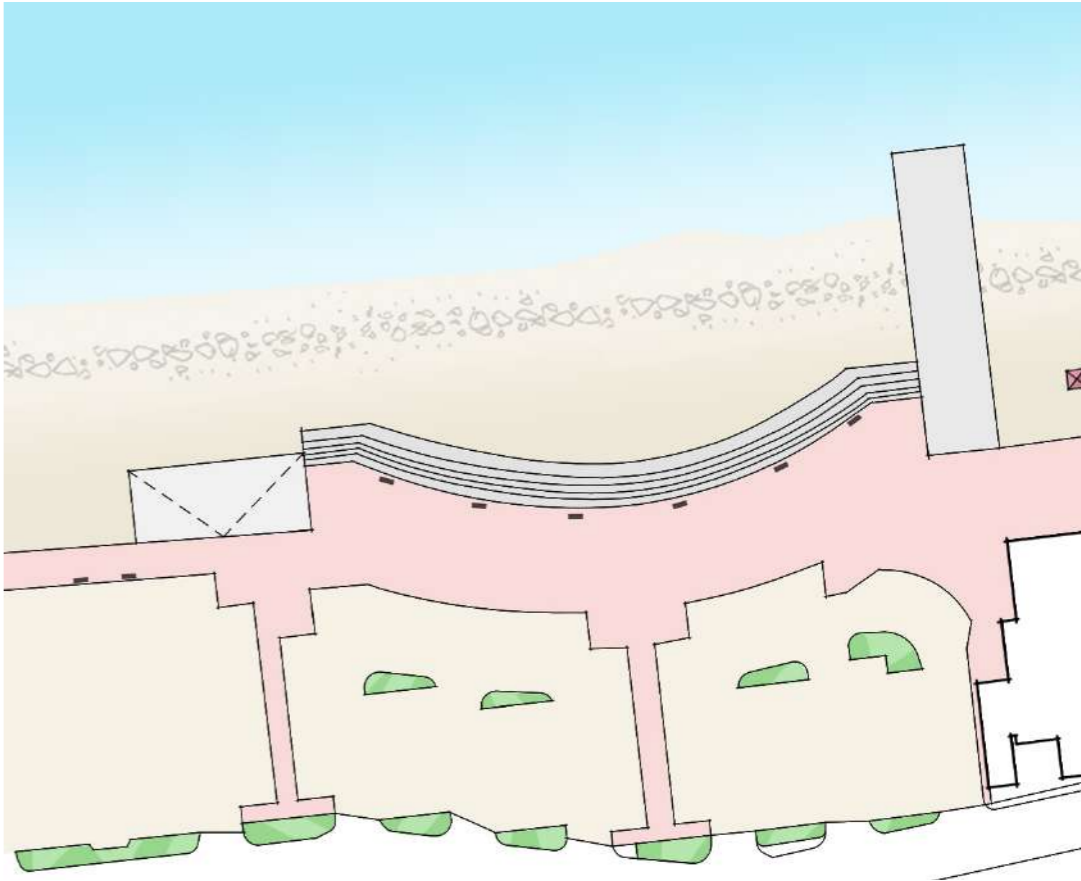
# Promenade Options- Bathing Lake



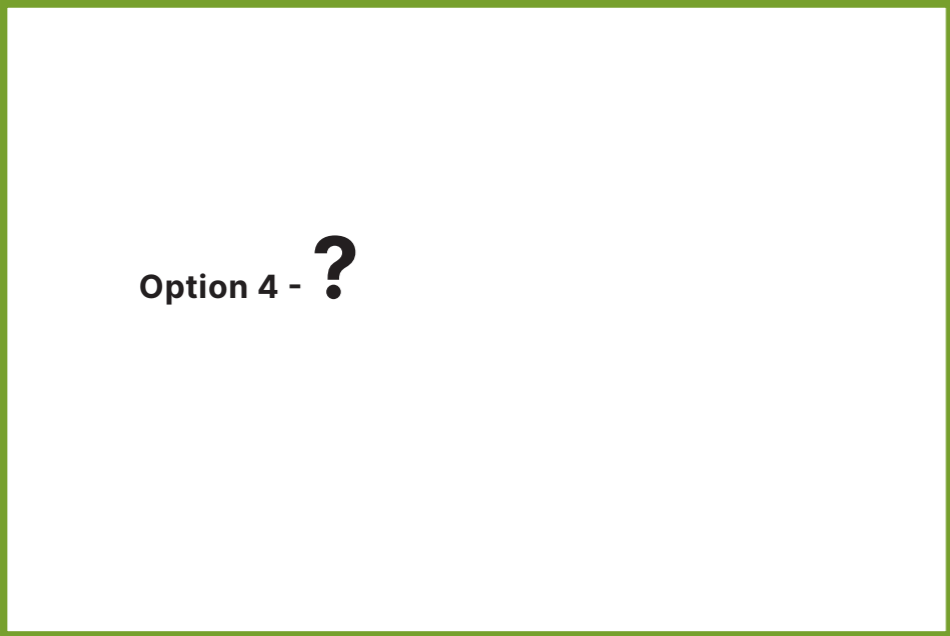
**Option 1** - Enhancements to the former bathing lake.



**Option 2** - Removal of bathing lake, beach reinstated.

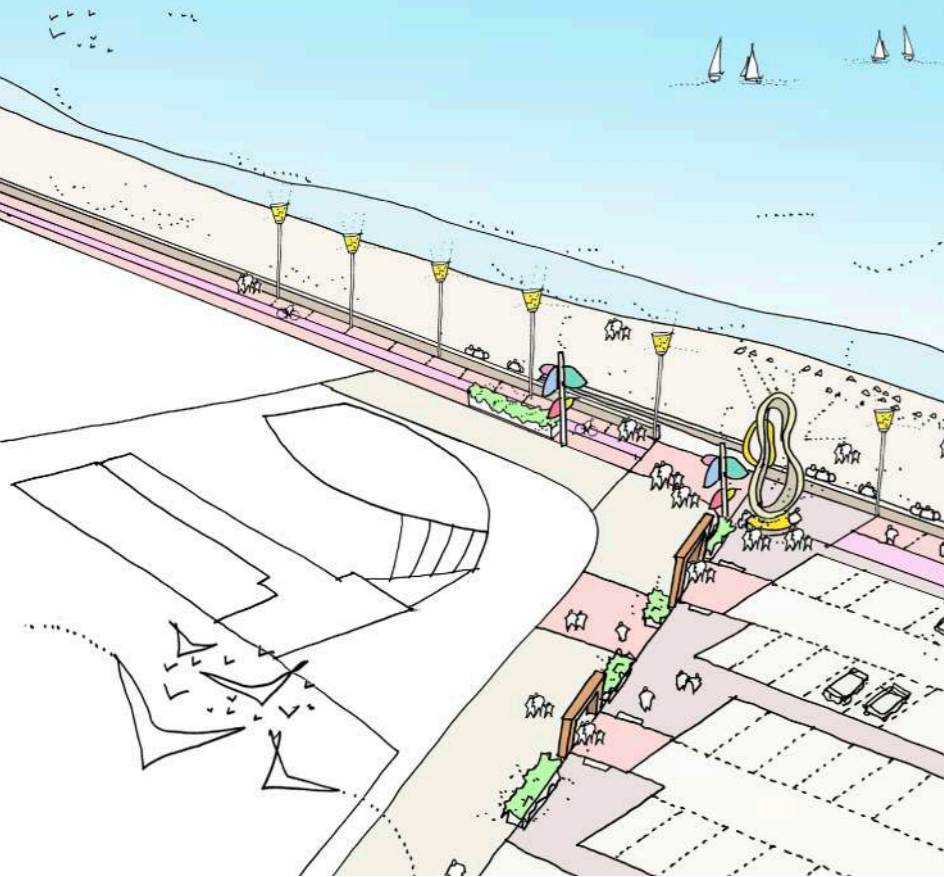


**Option 3** - Removal of bathing lake, beach reinstated, with pier added.

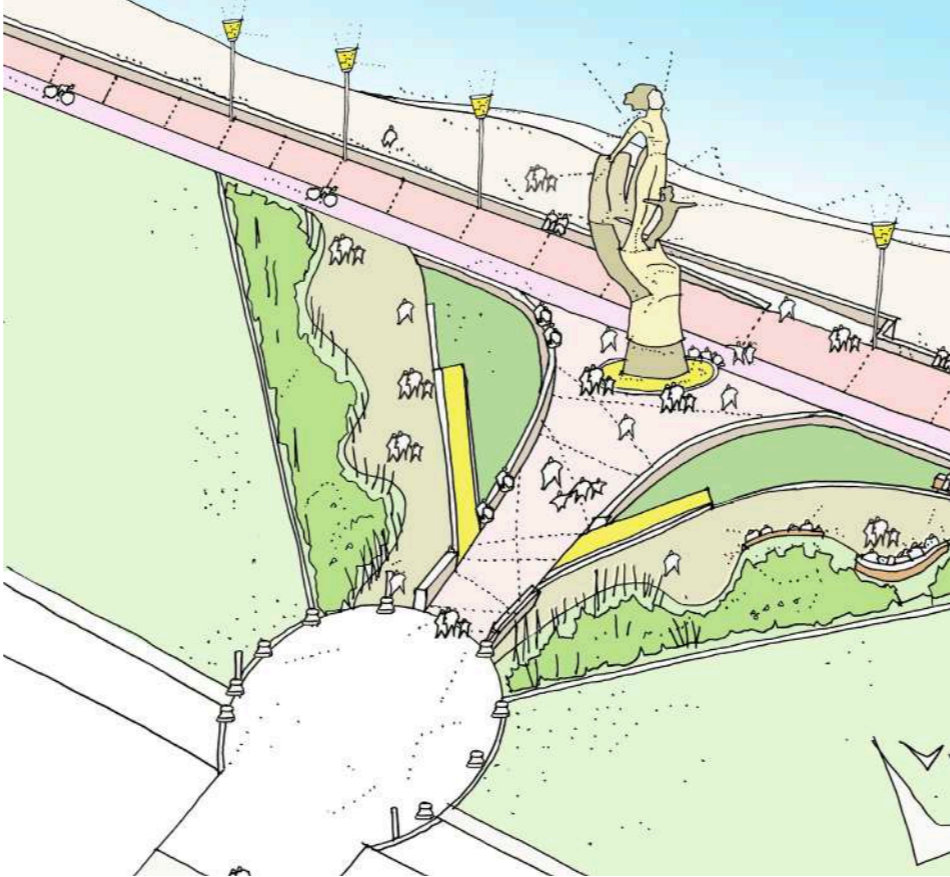


**Option 4** - Alternative approach- Refurbish and reinstate bathing lake - seek additional funding

# Promenade Options - Gateways and Central Space + General Improvements



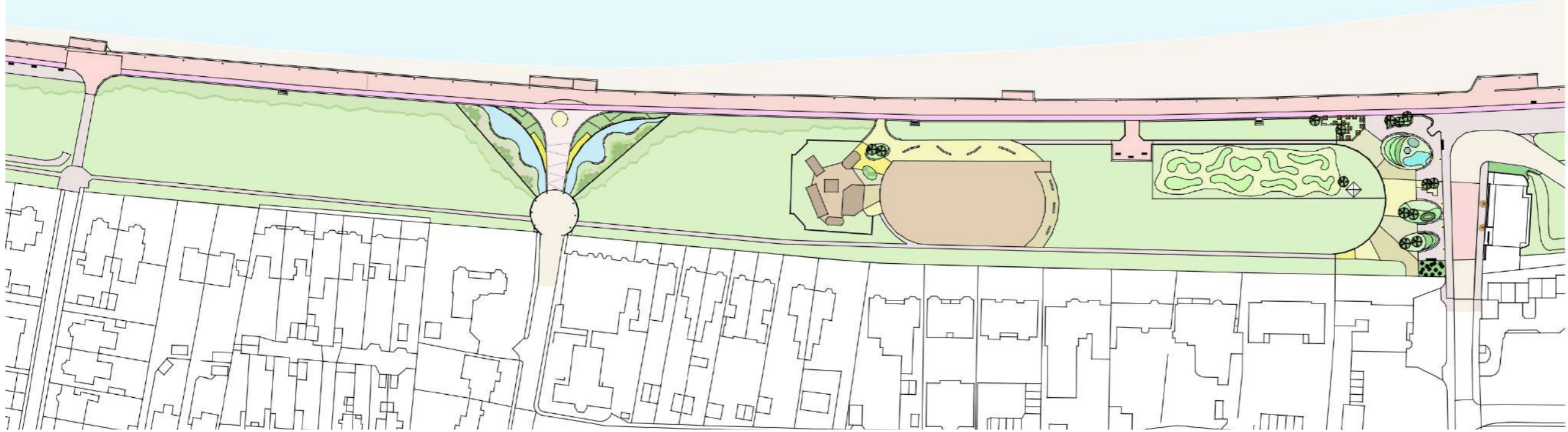
Grangemuir Road



Burgh Road



Links Road



Central/ Core Area

# 07.2 Potential Assessment Process

Options	Steeple	Steeple	Steeple	Steeple
Success Criteria	Option 1 <b>£515,000</b> Rebuild with existing stone	Option 2 <b>£545,000</b> Rebuild with new stone	Option 4 <b>£345,000</b> Rebuild using new slate or lead roof finish	Option 4A <b>£435,000</b> Rebuild using new stone and slate or lead roof finish
Strategic Alignment				
Score				
Economic Impacts				
Score				
Viability				
Score				
Social and Community Benefits				
Score				
Risk and Uncertainty				
<b>TOTAL SCORE</b>				

A score is allocated to each option in how well it can achieve the success criteria.

**Score**

- 1: Limited or No Impact
- 2: Limited Impact
- 3: Likely to achieve some impact
- 4: Confident the option will fulfil most of the criteria
- 5: Option is near to maximise this criteria

# 07.2 Potential Assessment Process

Options	Steeple	Steeple	Steeple	Steeple
<b>Success Criteria</b>	Option 1 <b>£515,000</b> Rebuild with existing stone	Option 2 <b>£545,000</b> Rebuild with new stone	Option 4 <b>£345,000</b> Rebuild using new slate or lead roof finish	Option 4A <b>£435,000</b> Rebuild using new stone and slate or lead roof finish
Potential additional funding sources				
Score				
Statutory Consents				
Score				
Timescales				
Score				
Budget				
Score				
Support recorded through previous consultation process				
<b>TOTAL SCORE</b>				

A score is allocated to each option in how well it can achieve the success criteria.

**Score**

- 1: Limited or No Impact
- 2: Limited Impact
- 3: Likely to achieve some impact
- 4: Confident the option will fulfil most of the criteria
- 5: Option is near to maximise this criteria

# 07.2 Potential Assessment Process

Options  Success Criteria	Steeple  Option 1 <b>£515,000</b> Rebuild with existing stone	Steeple  Option 2 <b>£545,000</b> Rebuild with new stone	Steeple  Option 4 <b>£345,000</b> Rebuild using new slate or lead roof finish	Steeple  Option 4A <b>£435,000</b> Rebuild using new stone and slate or lead roof finish
<b>Score</b>				
<b>Score</b>				
<b>Score</b>				
<b>Score</b>				
<b>TOTAL SCORE</b>				

A score is allocated to each option in how well it can achieve the success criteria.

- Score**
- 1: Limited or No Impact
  - 2: Limited Impact
  - 3: Likely to achieve some impact
  - 4: Confident the option will fulfil most of the criteria
  - 5: Option is near to maximise this criteria

# 07.2 Potential Assessment Process

<b>Options</b>          <b>Success Criteria</b>	<b>Steeple</b> Option 1 <b>£515,000</b>  Rebuild with existing stone	<b>Steeple</b> Option 2 <b>£545,000</b>  Rebuild with new stone	<b>Steeple</b> Option 4 <b>£345,000</b>  Rebuild using new slate or lead roof finish	<b>Steeple</b> Option 4A <b>£435,000</b>  Rebuild using new stone and slate or lead roof finish
	Score page 1			
	Score page 2			
	Score page 3			
	<b>TOTAL SCORE</b>			

Based on the information provided do you have a preference for which project should be progressed:

The Freeman’s Steeple      
 The Promenade      
 Both      
 Neither

Comments .....  
 .....  
 .....

Do you think an alternative approach should be taken or have any other comments:  
 .....  
 .....  
 .....

## 08.0 Next Steps

### Tasks

**Stage 1** - Preparatory Phase by Design Team and SAC Internal Briefing

**Stage 2** - Scenario Development

**Stage 3** - Stakeholder Workshop  
Scenario Testing + Criteria Assessment



**Stage 5** - Collation of responses and feedback,  
Reporting on feedback and final report to South Ayrshire Council

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number 11773049



The Options Appraisal follows a 5 step process. Each step of the process is detailed in subsequent sheets in this spreadsheet


[Step 1: Defining the objectives](#)

[Step 2: Identifying the options](#)

[Step 3: Establishing the success criteria](#)

[Step 4: Undertaking the appraisal](#)

[Step 5: Confirming the preferred option](#)



Objectives define what we want to achieve from the project. It helps show what the intention of the project is and whether or not it is heading in the right direction: in essence, the objectives tell the story of the project.

<b>Objective 1</b>	Strategic Alignment
<b>Objective 2</b>	Economic Impacts
<b>Objective 3</b>	Social and Community Benefits
<b>Objective 4</b>	Place-based Benefits
<b>Objective 5</b>	Deliverability/Feasibility
<b>Objective 6</b>	Risk and Uncertainty



This section details what options have been identified for delivering the project. These options will be appraised against the success criteria.

Option 1 Promenade & Seafront Gateway Improvements

Option 2 Freeman's Hall Steeple Reinstatement

Option 3 Bathing Lake / Lido

Option 4

Option #

Option #



The success criteria is what each of the options will be measured against. Success criteria must therefore be linked to the objectives of the project and appraise each option with the objectives in mind.

<b>Strategic Alignment</b>	Does it align with SAC Priorities - a place-based approach and connections between our places and the wellbeing of our communities? Also, the Scottish Government's regeneration priorities centre on creating sustainable, thriving communities by addressing area inequality, creating opportunities, and improving community well-being. Key initiatives include community-led regeneration, supporting local partnerships, and investing in town centres.
<b>Economic Impacts</b>	Town centre locations are considered priorities, with emphasis on benefits from bringing people/footfall through complementary uses and facilities, combining visits, visibility, etc.
<b>Viability</b>	What are the costs and financial sustainability of the project? Does it provide value for money?
<b>Social &amp; Community Benefits</b>	How will the project improve the local community? Does it address inequality, health, climate resilience, etc.? Evidence of community support?
<b>Risk &amp; Uncertainty</b>	Are there significant risks (political, financial, operational) that will compromise deliverability? Are there barriers to delivery? Land ownership issues, planning/roads consents/issues?

The appraisal table is outlined below, showing the options of delivery vertically in column D and the success criteria horizontally at row 3. A score is allocated to each option in how well it can achieve the success criteria. In this case, no weighting of scores is provided

Success criteria

Options →	Promenade & Seafront Gateway Improvements	Freeman's Hall Steeple Reinstatement	Bathing Lake / Lido	Option 4	Option 5	Option 6
<b>Strategic Alignment</b>	Strong alignment with Council Plan priorities on Spaces & Places and Civic Pride; delivers visible place-based regeneration.	Aligns with heritage objectives but weaker fit with wider place-based regeneration priorities.	Supports Council Plan objectives through evidence-led, community-based regeneration.			
<b>Score</b>	5	3	3			
<b>Economic Impacts</b>	Supports tourism economy, footfall and visitor experience with early economic uplift.	Limited direct economic return relative to capital investment.	Indirect economic benefit by enabling informed future investment.			
<b>Score</b>	4	2	3			
<b>Viability</b>	Well scoped, costed and deliverable within existing capital allocation.	Relatively high cost and uncertainty if external funding is conditional. Note further intrusive survey required.	Uncertain viability in terms of delivery, in terms of both capital and revenue costs and transfer of ownership			
<b>Score</b>	4	3	2			
<b>Social &amp; Community Benefits</b>	Improves accessibility, public realm quality and community pride.	Strong symbolic value based on narrative around civic importance of the building but mixed community views on prioritisation.	Uncertain community interest as the project but could potentially have strong community benefit depending on operating model			
<b>Score</b>	5	3	3			
<b>Risk &amp; Uncertainty</b>	Low delivery risk with limited statutory and funding uncertainty.	Relatively high financial and delivery risk dependant upon results of intrusive survey work. Also, associated with progressing the project in light of recent consultation feedback.	High uncertainty and delivery risk until feasibility study.			
<b>Score</b>	4	3	2			
<b>Total Score</b>	22	14	13	0	0	0

Score key

1: Little / no impact

2: Limited impact

3: Likely to achieve some impact

4: Confident the option will fulfill most of criteria

5: Option is near certain to maximise this criteria

This section describes each of the options and the reason why it has been discounted. Justification is also provided for the reason to progress with the preferred option, explaining why this option is best.

Option	Description	Reason for score/ranking
1	Promenade & Seafront Gateway Improvements	Provides the best balance of impacts, delivery and strategic fit, offering viable early regeneration benefits with manageable risks. It clearly represents best value and underpins the recommended investment approach.
2	Freeman's Hall Steeple Reinstatement	Provides a balance of compromise, if external funding is leveraged, thus allowing a key heritage aspiration to progress.
3	Bathing Lake / Lido	The option enables feasibility study to progress before further capital investment, though significant concerns or issues that could compromise viability going forward. Potentially abortive spend.
4		
5		
6		

**Best Value Assessment re Freeman’s Hall Steeple (without match funding)**

Vision and Leadership	Is the proposal consistent with the Council’s vision and strategic purposes	The proposal supports heritage-led regeneration, conservation of historic assets and town centre identity, aligning with the Council’s place and cultural priorities. Balancing the lack of asset efficiency enhancement from the project, the lack of economic benefit and the lower public and stakeholder support for the project even with the placemaking and heritage merits of the proposal this results in a low assessment in the scenario without external match funding.
	Is the proposal consistent with the Council's resource allocation priorities? Will pursuing the proposal be detrimental to the achievement of higher priorities (for example through the diversion of limited funds)?	Unknown. The proposal is funded from the approved Prestwick Capital Regeneration budget and should not be detrimental to the delivery of other corporate priorities. However, the Capital Investment Programme and is reducing significantly to meet with fiscal projections 26/27 and beyond. An evaluation of the Prestwick Capital budget against other capital budget lines has not been carried out.
	Has the Council undertaken an appropriate and proportionate level of engagement with stakeholders?	Yes. Engagement and consultation have taken place, including a stakeholder workshop, and identified both support and dissent.
	Does the proposal reflect the needs of the community and relevant individuals? Is it linked in to any relevant service plans?	Mixed, i.e., the steeple is recognised as a significant local heritage asset, and the proposal’s objectives broadly align with regeneration and planning priorities. However, community and individual views expressed through consultation are mixed with certain stakeholders and groups supporting and others not. The mixed views on public funding have been acknowledged in relevant reports.
	Does the proposal have clearly identified outcomes? Have these been clearly communicated to staff involved in delivery?	Yes. Outcomes include informed decision-making on feasibility, cost certainty, statutory compliance and funding viability prior to any delivery decision. There is also a clear outcome ultimately in terms of the reinstatement of a steeple, though the details of it are still to be determined. Outcomes in terms of benefits from utility of the building are not clear as the steeple is a largely decorative feature.

		Whilst arguments have been made regarding improving civic pride, and improved understanding and appreciation of local heritage, this may be difficult to measure or correlate without follow-on monitoring and evaluation.
	Are there appropriate mechanisms in place for scrutinising the outcome of the proposal, monitoring its progress and measuring its impact?	Yes. Delivery will be monitored through established capital programme reporting and Council/Cabinet decision tracking, as well as statutory planning/building warrant processes. Impacts to civic pride, understanding and appreciation of historic buildings will require follow-on monitoring and evaluation, including visitor tracking/footfall data.
	Does the proposal achieve the best balance of cost and quality in service delivery?	An Integrated impact assessment has been undertaken and highlighted regeneration benefits balanced against costs.
	Does the proposal encourage and support innovation and creativity in the way in which it will be delivered?	Potentially, if part of a wider programme for continued use of the building. Also, innovative ways to reinstate historic assets are being explored.
Governance and Accountability	Are there appropriate mechanisms in place to ensure that relevant individuals and organisations will be accountable for performance, including progress reports and monitoring?	Governance arrangements are clear, with accountability resting with senior officers. Member oversight is provided through Council and Cabinet reporting.
	Does the proposal have clearly identified KPIs?	Post completion evaluation will be undertaken, including assessment of visitor numbers, footfall, events, etc., to track usage of improved assets and wider place-based impacts.
	Are there appropriate arrangements in place to keep stakeholders and the public informed on progress?	Yes. Statutory planning processes include opportunity for consultation. Also, SPP will liaise with Communications to report on progress.
	Have relevant lessons been learned and applied from similar previous proposals?	Yes, comparable heritage and conservation projects have been reviewed and applied. Balancing the lack of asset efficiency enhancement from the project, the lack of economic benefit and the lower public and stakeholder support for the project even with the placemaking and heritage merits of the proposal this results in a low assessment in the scenario without external match funding.

	Are there appropriate arrangements in place concerning the measurement and mitigation of key risks? This should include continuity plans and allowances for optimism bias	Key risks relating to cost, delivery and statutory approvals have been identified and will be managed through risk management arrangements. All decisions will comply with procurement regulations. Budgets will be monitored against the impact of construction inflation and potential budget overruns with priorities for value reengineering being identified at project commencement. Risks to the Council increase without external match funding.
	Have key decisions relating to the proposal been taken transparently?	There has been a technical appraisal and stakeholder engagement process, which has included the steeple project. Decision-making going forward will continue to be transparent and open.
	Have members been appropriately involved in key decisions relating to the proposal? Are there mechanisms in place which allow ongoing scrutiny and challenge to the proposal by members?	Yes. Members have been appropriately involved with ongoing scrutiny through Council and Cabinet reporting. Approval of the project still required by the Council.
	Are appropriate arrangements in place to ensure compliance with the Council's standing orders and its broader duties concerning (for example) public procurement rules, subsidy control rules, fraud prevention/whistleblowing and equalities?	Proposals have been screened for incompatibility with broader duties and none have been identified
Effective use of resources	Does the proposal include clear arrangements for delivery by an appropriate team that aligns with the Council's broader workforce strategy? Is the proposal an appropriate and proportionate use of Council staffing resources?	Delivery will be managed through appropriate Council services, supported by external professional services where required.
	Have the costs of the proposal been clearly identified, including whole life costs, and accounted for in Council budgeting?	Costs are clearly identified within the Capital Programme, with financial monitoring and controls in place.
	Does the proposal align with the Council's budget and strategic priorities?	Costs are clearly identified within the Capital Programme.
	Are appropriate measures in place to monitor and report on the financial progress of the proposal and financial outturns compared with its budget?	There will be ongoing scrutiny through Council and Cabinet reporting processes.
	Are robust financial controls in place?	Yes

	Where relevant are robust governance arrangements in place concerning the use or involvement of arm's-length external organisations (ALEOs)?	n/a
Partnership and collaborative working	Does the proposal make appropriate use of joint working across Council departments and where relevant with other organisations?	Yes. The proposal supports joint working across Council services and engagement with external stakeholders as required for delivery.
	Where the proposal involves other organisations are there clear divisions of roles and responsibilities and is there a clear leadership structure?	Yes. The project, if approved, would be managed by the appropriate council service. Robust procurement processes, including appropriate project briefs, will ensure clear demarcation of roles and responsibility. Also, statutory planning processes ensure consultees are consulted.
Working with Communities	Have Council officers taken appropriate measures to encourage the involvement of hard-to-reach communities in the development and delivery of the proposal?	Limited stakeholder engagement has taken place based on existing key and targeted groups and individuals
Sustainable Development	Have the Council's sustainable development goals been taken into account in the development of the proposal?	The proposal supports sustainable reuse of historic assets and long-term conservation of the built environment.
Fairness and Equality	Have equality and equity considerations been taken into account in the development and delivery of the proposal?	Equality and equity considerations have been taken into account and will continue to be through statutory planning processes.

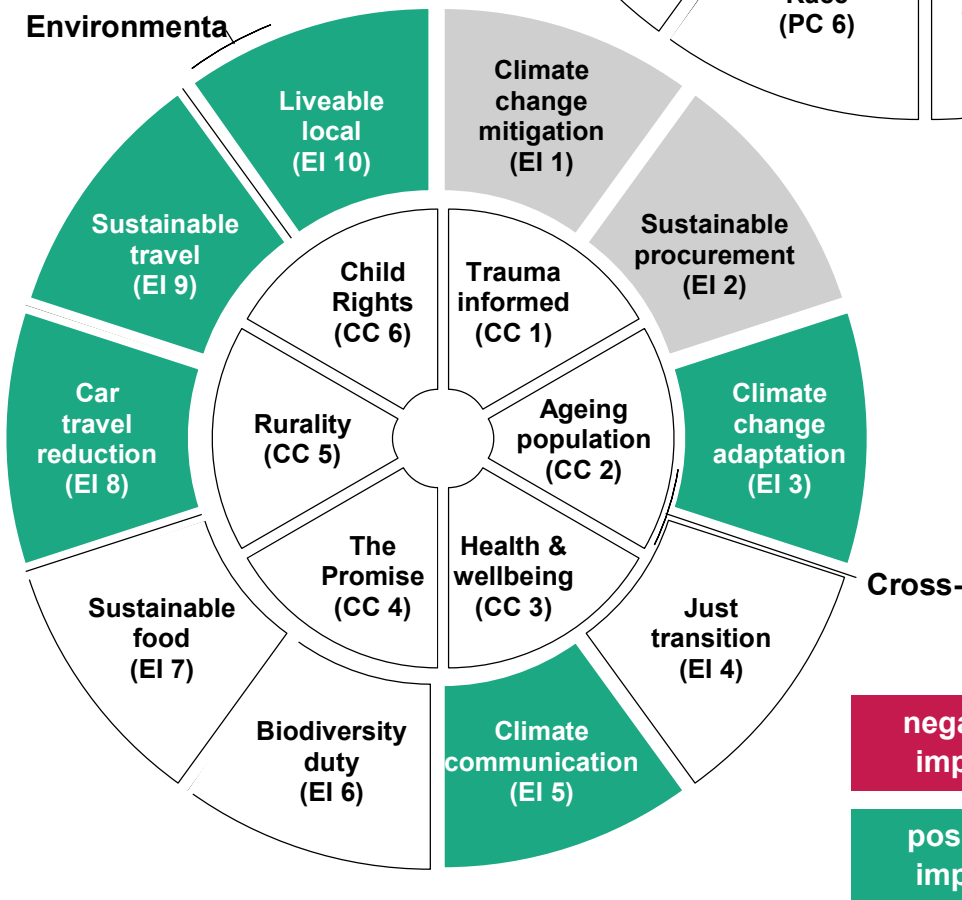
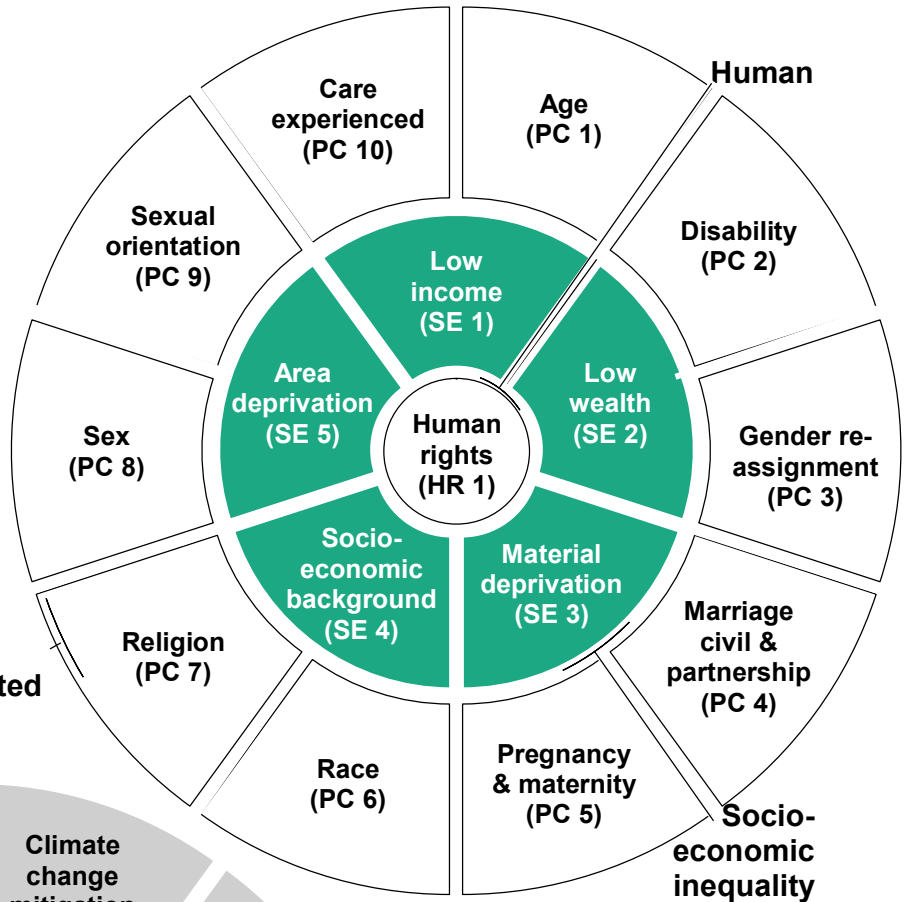
# Integrated Impact Assessment Summary Report



## Prestwick Freeman's Hall Steeple Reinstatement

Completed by:  
Derek Yuille,  
Service Lead,  
Special Property Projects

Date started 19/02/26



To be implemented on: tbc  
Review date: tbc  
Oversight Panel: tbc

negative impact	uncertain / not clear
positive impact	no impact / not applicable

**Public sector equality duty**


---

 Eliminating unlawful discrimination, harassment, and victimisation?

No impact

---

 Advancing equality of opportunity?

No impact

---

 Fostering good relations?

No impact

**Consultation declaration**


---

 We confirm consultation has been carried out as part of this process.
 

---



---

**Mitigating Actions Required (re **negative** / unclear**


---

**ENVIRONMENTAL IMPACTS**

EI 1	Climate change mitigation	The Council's sustainable design guidance will require to be taken into cognisance in determining the reinstatement option
EI 2	Sustainable procurement	Will require to comply with the Council's procurement policies, which will support local supply chains and sustainable design guide in terms of design, materials, etc

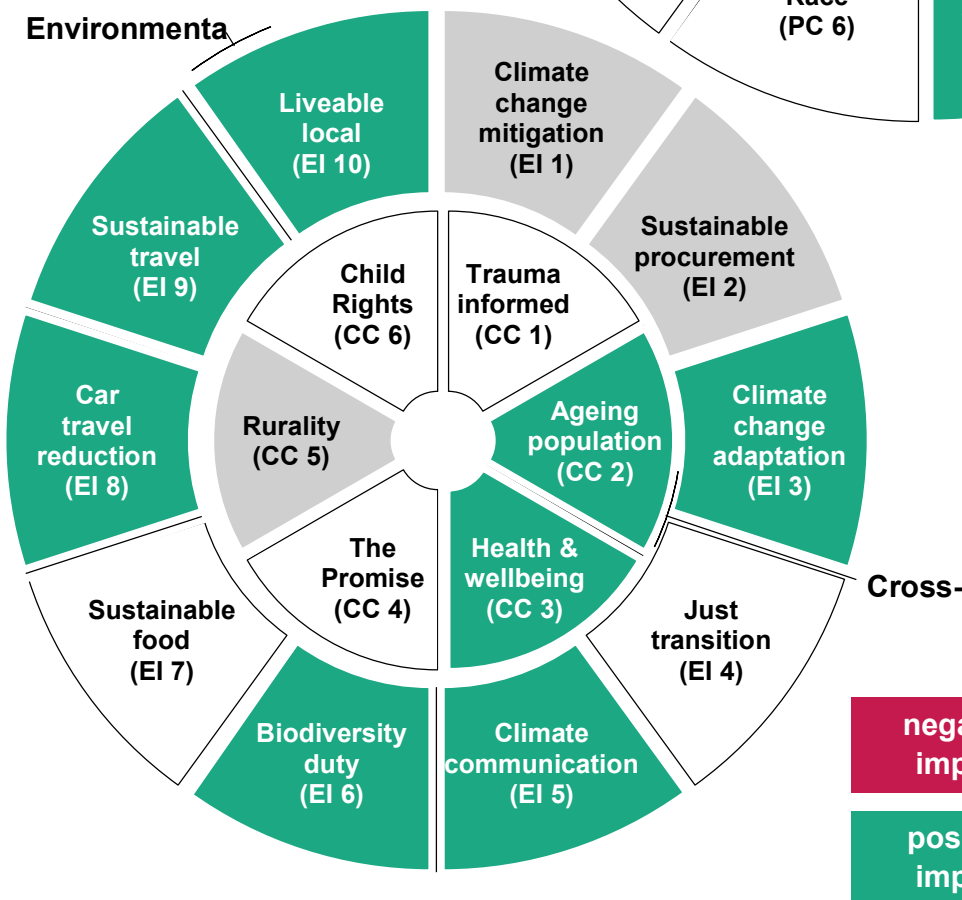
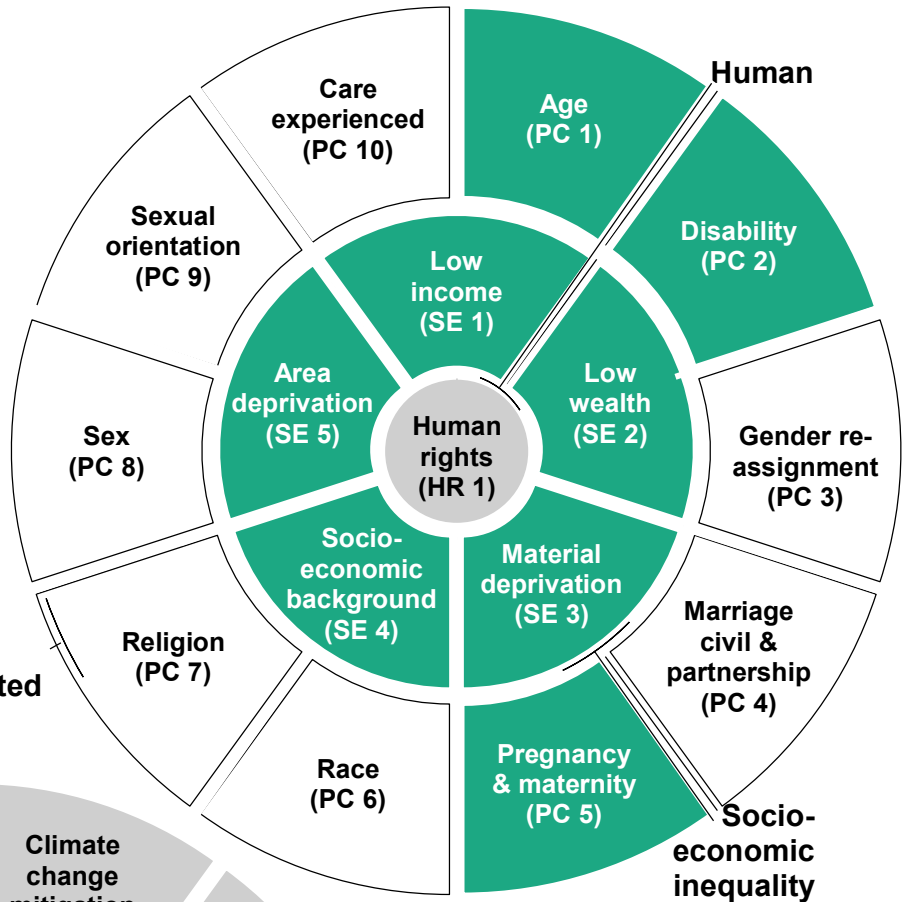
# Integrated Impact Assessment Summary Report



Bathing Lake / Lido project in Prestwick

Completed by:  
Derek Yuille,  
Service Lead,  
Special Property Projects

Date started 23/02/26



To be implemented on: tbc  
Review date: tbc  
Oversight Panel: tbc

negative impact	uncertain / not clear
positive impact	no impact / not applicable

**Public sector equality duty**

---

Eliminating unlawful discrimination, harassment, and victimisation?

No impact

---

Advancing equality of opportunity?

No impact

---

Fostering good relations?

No impact

---

**Consultation declaration**

We confirm consultation has NOT been carried out as part of this process.

---

**Mitigating Actions Required (re **negative** / unclear**

---

**EQUALITIES: impact on human rights**

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<b>HR 1</b>	Human Rights	not applicable
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Mitigating Actions Required (re **negative** / unclear impacts)

**ENVIRONMENTAL IMPACTS**

<b>EI 1</b>	Climate change mitigation	Cognisance of sustainable design guidance and best practice to minimise greenhouse gas emissions is advised.
<b>EI 2</b>	Sustainable procurement	Procurement practices recognise local supply chains.

**CROSS-CUTTING IMPACTS**

<b>CC 5</b>	Rurality	Please provide detail here
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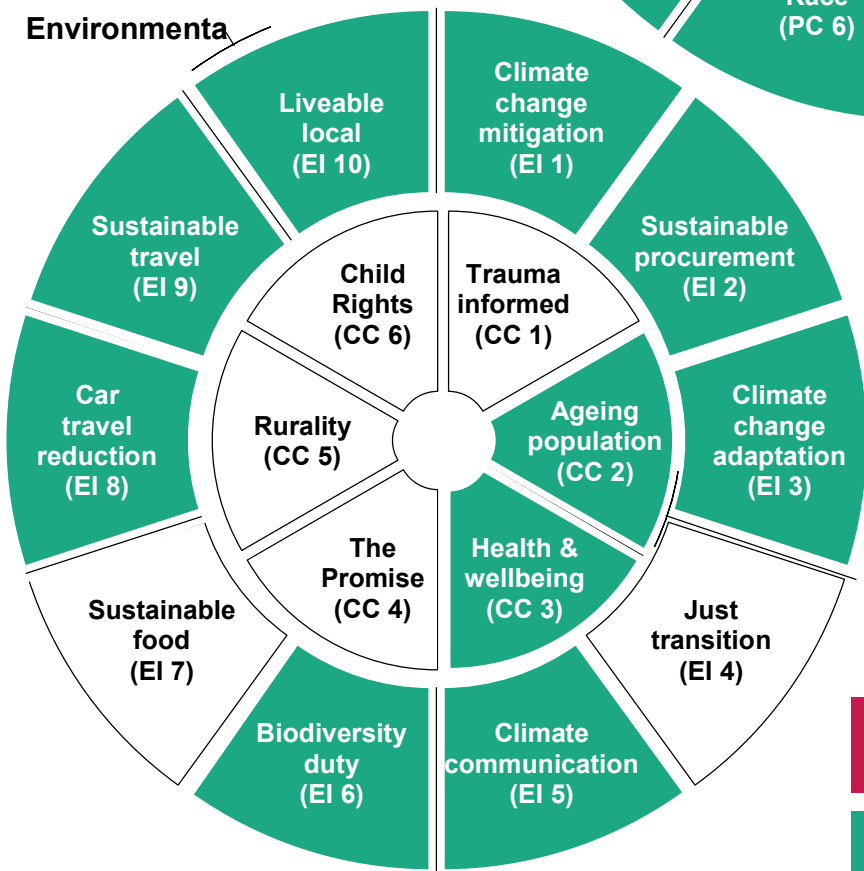
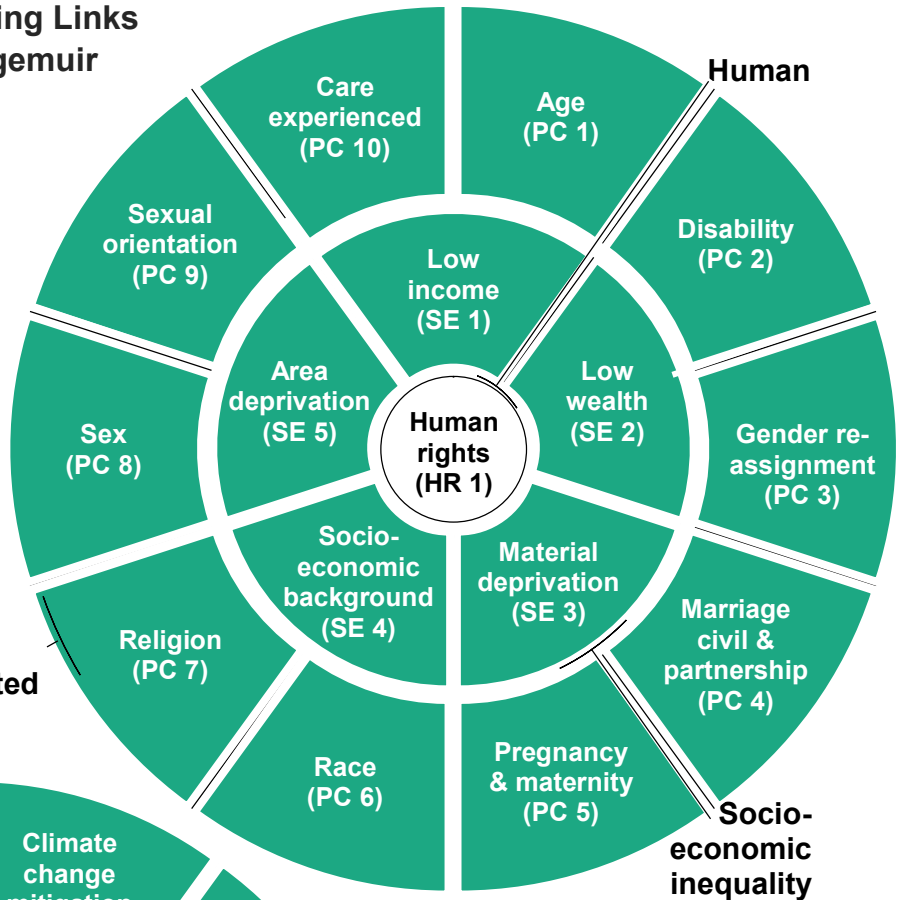
(CRWIA)?	no
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# Integrated Impact Assessment Summary Report

**Promenade and Seafront Improvements to key Prestwick “Gateway Locations”, including Links Road, Burgh Road and Grangemuir Road locations**

Completed by:  
Derek Yuille ,  
Service Lead,  
Special Property Projects

Date started 19/02/2026



To be implemented on: tbc  
Review date: tbc  
Oversight Panel: tbc

negative impact	uncertain / not clear
positive impact	no impact / not applicable

**Public sector equality duty**

---

Eliminating unlawful discrimination, harassment, and victimisation?

No impact

---

Advancing equality of opportunity?

No impact

---

Fostering good relations?

No impact

---

**Consultation declaration**

We confirm consultation has been carried out as part of this process.

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